

# PHASE 1 WESTOVER HILLS SUBDIVISION RESUBDIVISION OF LOT 2 BLOCK 1

CAMPBELL COUNTY, WYOMING

## DECLARATION VACATING PREVIOUS PLATTING

This plat is the resubdivision of Westover Hills Subdivision, as recorded in Book 2 of Plats, Pages 38-41 of the records of the Campbell County Clerk. All earlier plats or portions thereof, encompassed by the boundaries of this plat are hereby vacated.

## REVIEW BY CITY ENGINEER

Data on this plat reviewed this 6th day of May, 1988, by the City Engineer of Gillette, Wyoming.  
Paul K. Bostwick  
City Engineer

## APPROVAL OF CITY PLANNING COMMISSION

This plat approved by the City of Gillette-Planning Commission this 25th day of April, A.D., 1988.

Christopher R. Hand  
Chairman  
Flay E. Rogers  
Secretary

## APPROVAL OF CITY COUNCIL

Approved by the City Council of the City of Gillette, Wyoming this 2nd day of May, A.D., 1988.

Mildred J. Hummel  
Mayor  
Bonnie K. W. W. W.  
City Clerk

## CERTIFICATE OF RECORDER

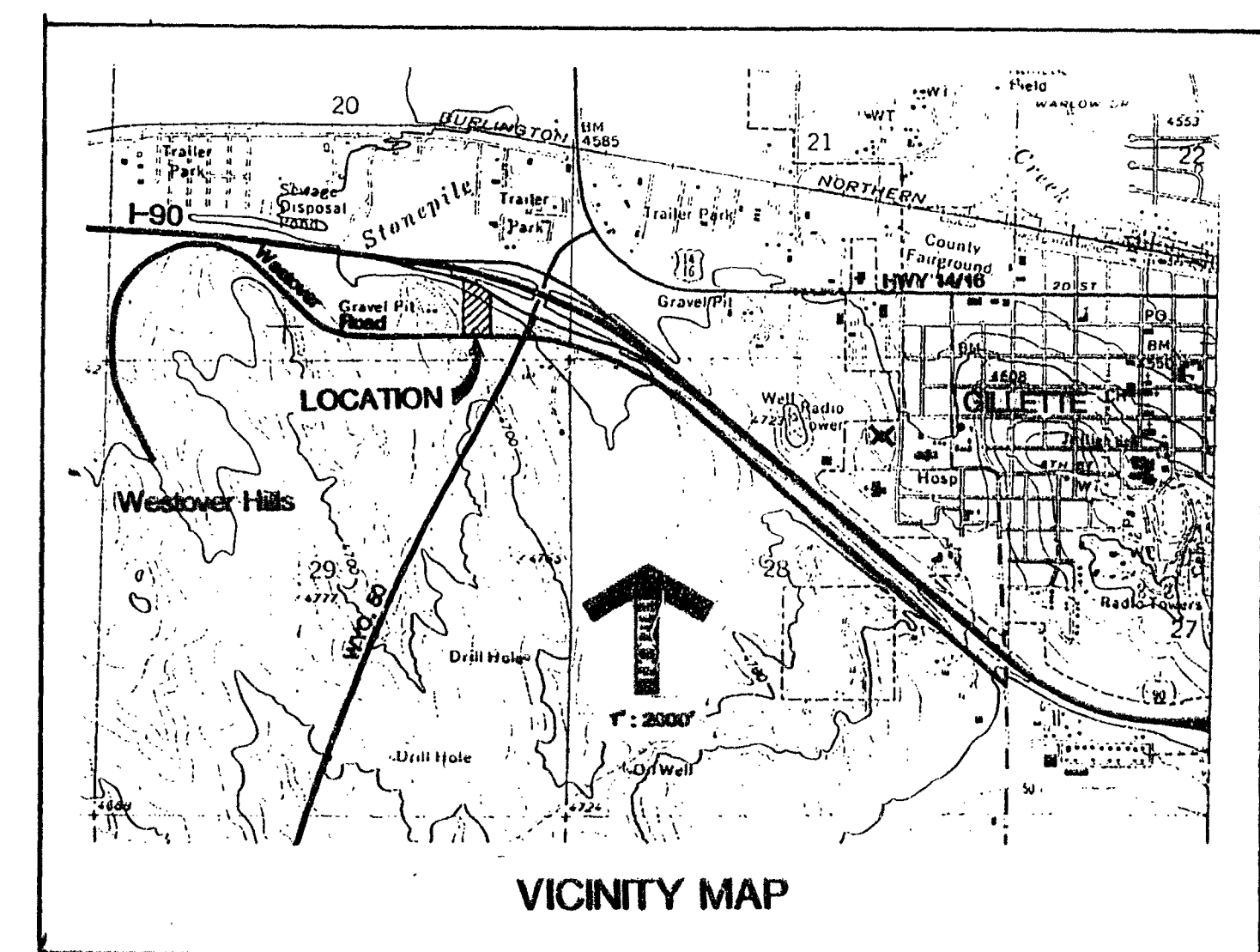
This Plat was filed for record in the office of the Clerk and Recorder at 11:20 o'clock A.M., May 13, 1988, and is duly recorded in Book 5 Page No. 80.

Bonnie K. W. W.  
County Clerk

## ACKNOWLEDGEMENT OF NOTARY PUBLIC

STATE OF WYOMING  
CAMPBELL COUNTY  
The foregoing instrument was acknowledged before me this 15th day of April, A.D., 1988, by Paul K. Bostwick, as a free and voluntary act and deed.  
Witness my hand and official seal.  
My Commission expires: 7-2-89

Notary Public



VICINITY MAP

## LEGAL DESCRIPTION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED ARLO DEVELOPMENT CO., INC. AND PAUL K. BARTHOLOMEY, BEING THE OWNER, PROPRIETOR OR PARTIES OF INTEREST IN THE LAND SHOWN ON THIS PLAT, DO HEREBY CERTIFY:

THAT THE FOREGOING PLAT DESIGNATED AS PHASE 1, WESTOVER HILLS SUBDIVISION, RESUBDIVISION OF LOT 2, BLOCK 1, IS LOCATED IN SECTION 28 T 58 N, R 72 W, GILLETTE, CAMPBELL COUNTY WYOMING.

A PARCEL OF LAND LOCATED IN THE SE 1/4 OF SECTION 28, T 58 N, R 72 W OF THE 6TH P.M., FORMERLY KNOWN AS LOT 2, BLOCK 1 OF PHASE 1, WESTOVER HILLS SUBDIVISION, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE BRASS CAP MONUMENTING THE 1/4 CORNER COMMON TO SECTIONS 28 AND 29 OF THE AFOREMENTIONED TOWNSHIP AND UTILIZING, S 89° 09' 03" W, THE RECORD BEARING FOR THE SOUTH LINE OF SAID SECTION 28 AS THE BASIS OF BEARINGS;

THENCE N 79° 37' 44" A DISTANCE OF 1398.34 FEET TO THE SOUTHEAST CORNER OF LOT 3, BLOCK 1 OF THE PREVIOUSLY MENTIONED SUBDIVISION AND THE TRUE POINT OF BEGINNING;

THENCE N 8° 50' 57" W, 617.12 FEET ALONG THE EASTERLY BOUNDARY OF SAID LOT 3 TO INTERSECT WITH THE SOUTHERLY RIGHT OF WAY FOR INTERSTATE 90;

THENCE S 62° 28' 18" E, 348.98 FEET ALONG SAID RIGHT OF WAY TO THE NORTHWEST CORNER OF LOT 1B, BLOCK 1 OF THE AFOREMENTIONED SUBDIVISION;

THENCE S 8° 50' 57" E, 455.05 FEET ALONG THE WESTERLY BOUNDARY OF SAID LOT 1B TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT OF WAY FOR WESTOVER ROAD;

THENCE S 89° 09' 03" W ALONG SAID RIGHT OF WAY, 300.00 FEET TO THE POINT OF BEGINNING.

THIS PARCEL OF LAND CONTAINS AN AREA OF 3.682 ACRES, MORE OR LESS;

THAT THIS SUBDIVISION, AS IT IS DESCRIBED AND AS IT APPEARS ON THIS PLAT, IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S); AND THAT THIS IS A CORRECT PLAT OF THE AREA AS IT IS DIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS.

THAT THE UNDERSIGNED OWNER(S) OF THE LAND SHOWN AND DESCRIBED ON THIS PLAT DOES (DO) HEREBY DEDICATE TO THE CITY OF GILLETTE AND ITS LICENSEES FOR PERPETUAL PUBLIC USE, ALL STREETS, ALLEYS, EASEMENTS AND OTHER PUBLIC LANDS WITHIN THE BOUNDARY LINES OF THE PLAT, AS INDICATED, AND NOT ALREADY OTHERWISE DEDICATED FOR PUBLIC USE.

UTILITY EASEMENTS, AS DESIGNATED ON THIS PLAT, ARE HEREBY DEDICATED TO CITY OF GILLETTE AND ITS LICENSEES FOR PERPETUAL PUBLIC USE, FOR THE PURPOSE OF INSTALLING, REPAIRING, REINSTALLING, REPLACING AND MAINTAINING SEWERS, WATER LINES, GAS LINES, ELECTRIC LINES, TELEPHONE LINES, CABLE TV LINES AND OTHER FORMS AND TYPES OF PUBLIC UTILITIES NOW OR HEREFTER GENERALLY UTILIZED BY THE PUBLIC.

ALL RIGHTS UNDER AND BY VIRTUE OF THE HOMESTEAD EXEMPTION LAWS OF THE STATE OF WYOMING ARE HEREBY WAIVED AND RELEASED.

EXECUTED THIS 15th DAY OF April, A.D., 1988, BY:

Arlo Development Co.  
Paul K. Bostwick

## CORPORATE ACKNOWLEDGEMENT

STATE OF OREGON  
COUNTY OF CLATSOP

ON THIS 15th DAY OF April, 1988, BEFORE ME PERSONALLY APPEARED Paul K. Bostwick, TO ME PERSONALLY KNOWN, WHO, BEING BY ME DULY SWORN, DID SAY THAT HE IS THE PRESIDENT OF ARLO DEVELOPMENT CO. AND THAT THE SEAL AFFIXED TO SAID INSTRUMENT IS THE CORPORATE SEAL OF SAID CORPORATION AND THAT SAID INSTRUMENT WAS SIGNED AND SEALED ON BEHALF OF CORPORATION BY AUTHORITY OF ITS BOARD OF DIRECTORS, AND SAID Paul K. Bostwick ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND SEAL THE DATE FIRST ABOVE WRITTEN.

Paul K. Bostwick  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 7-2-89

## ACKNOWLEDGEMENT OF NOTARY PUBLIC

STATE OF OREGON  
COUNTY OF CLATSOP

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 15th DAY OF April, A.D., 1988, BY Paul K. Bostwick, AS A FREE AND VOLUNTARY ACT AND DEED.

WITNESS MY HAND AND OFFICIAL SEAL

Paul K. Bostwick  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 7-2-89

## MORTGAGEE STATEMENT

THE UNDERSIGNED Arlo Development Co., HEREINAFTER MORTGAGEE, HOLDS A MORTGAGE IN AND TO THE PROPERTY EMBRACED BY THIS SUBDIVISION PLAT, WHICH MORTGAGE WAS FILED WITH THE CLERK OF CAMPBELL COUNTY, AN EX-OFFICIO RECORDER OF DEEDS AT BOOK 248 OF PHOTOS, AT PAGE 27. MORTGAGEE, BY HIS SIGNATURE ON THIS PLAT, CONSENTS TO THE DEDICATIONS MADE HEREIN AND SPECIFICALLY RELEASES ALL STREETS, ALLEYS, PARKS, EASEMENTS, OPEN SPACES AND OTHER AREAS DEDICATED TO THE CITY OF GILLETTE FOR PUBLIC USE, AS LISTED AND DESCRIBED ON THIS PLAT FROM THE AFOREMENTIONED MORTGAGE.

Arlo Development Co.  
MORTGAGEE  
Harold H. Suttman, President

## CORPORATE ACKNOWLEDGEMENT

STATE OF OREGON  
COUNTY OF MULTNOMAH

ON THIS 15th DAY OF April, 1988, BEFORE ME PERSONALLY APPEARED Harold H. Suttman, TO ME PERSONALLY KNOWN, WHO, BEING BY ME DULY SWORN, DID SAY THAT HE IS THE PRESIDENT OF ARLO DEVELOPMENT CO. AND THAT THE SEAL AFFIXED TO SAID INSTRUMENT IS THE CORPORATE SEAL OF SAID CORPORATION AND THAT SAID INSTRUMENT WAS SIGNED AND SEALED ON BEHALF OF CORPORATION BY AUTHORITY OF ITS BOARD OF DIRECTORS, AND SAID Harold H. Suttman ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND SEAL THE DATE FIRST ABOVE WRITTEN.

John M. Magungan  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 3/10/90

## MORTGAGEE STATEMENT

THE UNDERSIGNED Arlo Development Co., HEREINAFTER MORTGAGEE, HOLDS A MORTGAGE IN AND TO THE PROPERTY EMBRACED BY THIS SUBDIVISION PLAT, WHICH MORTGAGE WAS FILED WITH THE CLERK OF CAMPBELL COUNTY AND EX-OFFICIO RECORDER OF DEEDS AT BOOK 248 OF PHOTOS, AT PAGE 27. MORTGAGEE, BY HIS SIGNATURE ON THIS PLAT, CONSENTS TO THE DEDICATIONS MADE HEREIN AND SPECIFICALLY RELEASES ALL STREETS, ALLEYS, PARKS, EASEMENTS, OPEN SPACES AND OTHER AREAS DEDICATED TO THE CITY OF GILLETTE FOR PUBLIC USE, AS LISTED AND DESCRIBED ON THIS PLAT FROM THE AFOREMENTIONED MORTGAGE.

Arlo Development Co.  
MORTGAGEE  
Paul K. Bostwick, President

## CORPORATE ACKNOWLEDGEMENT

STATE OF WYOMING  
COUNTY OF CLATSOP

ON THIS 15th DAY OF April, 1988, BEFORE ME PERSONALLY APPEARED Paul K. Bostwick, TO ME PERSONALLY KNOWN, WHO, BEING BY ME DULY SWORN, DID SAY THAT HE IS THE PRESIDENT OF ARLO DEVELOPMENT CO. AND THAT THE SEAL AFFIXED TO SAID INSTRUMENT IS THE CORPORATE SEAL OF SAID CORPORATION AND THAT SAID INSTRUMENT WAS SIGNED AND SEALED ON BEHALF OF CORPORATION BY AUTHORITY OF ITS BOARD OF DIRECTORS, AND SAID Paul K. Bostwick ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND SEAL THE DATE FIRST ABOVE WRITTEN.

Paul K. Bostwick  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 3-15-91

Maurer, Glazer and Withers  
Attorneys at Law  
Lake Oswego, Oregon

TSP  
Gillette

Project No. 0288009

Drawn By MTB

Checked By DWO

Date March 6, 1988

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## CERTIFICATE OF SURVEYOR

I, Donald W. Oakley, do hereby declare that I am a registered land surveyor, licensed under the laws of the State of Wyoming, that this plat is a true, correct and complete plat of re-subdivision of Lot 2, Block 1 of Phase 1, Westover Hills Subdivision, as laid out, platted, dedicated and shown hereon, that such plat was made from an accurate redrafting of said property by me and under my supervision and correctly shows the location and dimensions of the lots, easement and streets of said subdivision as the same are staked upon the ground in compliance with City of Gillette regulations governing the subdivision of land.

Donald W. Oakley  
Registered Land Surveyor No. 4769

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