

SITE DEVELOPMENT PLANS

WALMART GENERAL RETAIL

2500 SOUTH DOUGLAS HIGHWAY

GILLETTE, WYOMING 82718

UTILITY RESPONSIBILITIES

GOVERNING AGENCIES CONTACTS	CONTRACTOR RESPONSIBILITY	OTHERS RESPONSIBILITY
GAS BLACKHILLS ENERGY 625 NINTH STREET RAPID CITY, SD 57701 PHONE: 307-682-5881 CONTACT: SCOTT WILSON	-COORDINATE CONSTRUCTION ACTIVITIES WITH BLACK HILLS ENERGY TO ENSURE INSTALLATION OF GAS LINES ARE COMPLETED PRIOR TO PAVEMENT OR CURB PLACEMENT -INSTALL BOLLARD PROTECTION AS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THE BLACK HILLS ENERGY REQUIREMENTS -ENSURE ALL MATERIALS, COMPACTION, ETC. FOR TRENCH BACKFILL MEETS THE PROJECT SPECIFICATIONS -COORDINATE ANY REQUIRED INSPECTIONS WITH BLACK HILLS ENERGY	-SERVICE FROM THE POINT OF CONNECTION AT THE EXISTING LINE UP TO AND INCLUDING SETTING OF METER WILL BE BY BLACK HILLS ENERGY -ANY REQUIRED INSPECTIONS OF CONTRACTOR'S GAS SERVICE WORK
ELECTRIC CITY OF GILLETTE 611 N. EXCHANGE AVE GILLETTE, WY 82717-3003 PHONE: 307-686-5277 CONTACT: LORI KING	-COORDINATE CONSTRUCTION ACTIVITIES WITH CITY OF GILLETTE TO ENSURE INSTALLATION OF UNDERGROUND LINES ARE COMPLETED PRIOR TO PAVEMENT OR CURB PLACEMENT -PROVIDE AND INSTALL 1-4" SCHEDULE 40 PVC CONDUIT WITH PULL ROPES, AT A MINIMUM DEPTH OF 48" INCLUDING TRENCHING AND BACKFILLING, FOR THE UNDERGROUND PORTIONS OF THE PRIMARY FROM THE POINT OF CONNECTION UP TO THE TRANSFORMER -INSTALL TRANSFORMER PAD IN ACCORDANCE WITH THE CITY OF GILLETTE SPECIFICATIONS -SET THE METER IN ACCORDANCE WITH THE CITY OF GILLETTE REQUIREMENTS -PROVIDE AND INSTALL ALL SECONDARY SERVICE AND MATERIALS IN ACCORDANCE WITH THE CITY OF GILLETTE SPECIFICATIONS	-CITY OF GILLETTE WILL PROVIDE AND INSTALL ALL PRIMARY CABLE FROM THE EXISTING JUNCTION BOX UP TO THE TRANSFORMER -ANY REQUIRED INSPECTIONS OF CONTRACTOR'S ELECTRIC SERVICE WORK
SANITARY SEWER CITY OF GILLETTE 611 N. EXCHANGE AVE GILLETTE, WY 82717-3003 PHONE: 307-686-5277 CONTACT: BRUCE HAMMOND	-PROVIDE AND INSTALL SANITARY SEWER LINES AND ASSOCIATED APPURTENANCES IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS -COORDINATE REQUIRED INSPECTION SERVICES WITH CITY OF GILLETTE. SEE UTILITY PLAN FOR REQUIREMENTS	-ANY REQUIRED INSPECTIONS OF CONTRACTOR'S SANITARY SEWER SERVICE WORK
WATER CITY OF GILLETTE 611 N. EXCHANGE AVE GILLETTE, WY 82717-3003 PHONE: 307-686-5276 CONTACT: GREG BOWMAN	-PROVIDE AND INSTALL ALL WATER MAINS AND ASSOCIATED APPURTENANCES IN ACCORDANCE THE PLANS AND SPECIFICATIONS -CONNECT TO EXISTING WATER LINE. PROVIDE ALL REDUCERS TEES AND BENDS REQUIRED TO SET THE METER. -COORDINATE REQUIRED INSPECTION SERVICES WITH CITY OF GILLETTE. SEE UTILITY PLAN FOR REQUIREMENTS	-ANY REQUIRED INSPECTIONS OF CONTRACTOR'S DOMESTIC WATER SERVICE WORK OR WATER LINE EXTENSION

THIS INFORMATION BOX HAS BEEN PROVIDED FOR CLARIFICATION PURPOSES. THE CONTRACTOR SHALL PROVIDE ANY AND ALL APPURTENANCES, TRENCHING AND BACKFILL, AND OTHER INCIDENTALS TO MEET OR EXCEED THE SPECIFICATIONS OF THE ITEMS LISTED.

IT IS AGREED THAT THE CONDITIONS OF THIS DEVELOPMENT PLAN SHALL BE BINDING UPON THE UNDERSIGNED, THEIR SUCCESSORS AND ASSIGNS, SHALL LIMIT AND CONTROL THE ISSUANCE AND VALIDITY OF ALL ZONING PERMITS, AND SHALL RESTRICT AND LIMIT THE LOCATION, CONSTRUCTION AND USE OF ALL LAND AND STRUCTURES INCLUDED WITHIN THE PLAN TO ALL OF THE CONDITIONS SET FORTH UPON THE PLAN; AND THAT THE DEVELOPMENT PLAN MAY BE AMENDED ONLY UPON APPLICATION TO AND APPROVAL BY THE PLANNING COMMISSION.

EXECUTED THIS _____ DAY OF _____, BY: _____

STATE OF WYOMING)
COUNTY OF CAMPBELL) SS.
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, A.D., BY _____, AS A FREE AND VOLUNTARY ACT AND DEED.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

APPROVED BY THE CITY OF GILLETTE PLANNING COMMISSION THIS _____ DAY OF _____, A.D.,

C

ATTEST: SECRETARY

I HEREBY CERTIFY THAT THE ABOVE DEVELOPMENT PLAN WAS FILED FOR RECORD IN MY OFFICE AT _____ O'CLOCK _____, 20_____, IN BOOK _____ OF DEVELOPMENT PLANS AT PAGE _____.

COUNTY CLERK



VICINITY MAP

SCALE: 1"=500'

DEVELOPED BY:

Walmart
Save money. Live better.

WAL-MART STORES INC.
2001 S.E. 10TH ST.
BENTONVILLE, AR 72716-0550
(479) 273-4000

ENGINEER:



**CARLSON
CONSULTING
ENGINEERS, INC.**

7068 Ledgestone Commons, Bartlett, TN 38133
Phone (901) 384-0404 • Fax (901) 384-0710

THE SITEWORK FOR THIS PROJECT SHALL MEET OR EXCEED THE "SITE SPECIFIC SPECIFICATIONS."

ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO CONTRACT COMPLETION AND THE FINAL CONNECTION OF SERVICES.

CONTRACTOR SHALL CONTACT 811 FOR LOCATION OF ALL UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.

INDEX OF SHEETS

	TITLE SHEET
SD 1	OVERALL SITE DEVELOPMENT PLAN
SD 2	SITE PLAN
SD 3	GRADING PLAN
SD 4	UTILITY PLAN
SD 5	PLANTING PLAN



Know what's below.
Call before you dig.

LEGAL DESCRIPTION

LOT 1E AND LOT 2D OF THE RESUBDIVISION OF LOT 1C OF BLOCK 1 OF RESUBDIVISION OF LOT 1A OF BLOCK 1 OF THE RESUBDIVISION OF LOTS 1, 2, 3, AND 4 OF BLOCK 1 OF THE HOMESTEAD ADDITION TO THE CITY OF GILLETTE, CAMPBELL COUNTY, WYOMING, ACCORDING TO THE OFFICIAL PLAT THEREOF FILED FOR RECORD 28 MARCH 1992 IN BOOK 5 OF PLATS, PAGE 164 OF THE RECORDS OF CAMPBELL COUNTY, WYOMING, TOGETHER WITH LOT 1B, BLOCK 1, HOMESTEAD ADDITION, A RESUBDIVISION OF LOT 1A OF BLOCK 1 OF THE RESUBDIVISION OF LOTS 1, 2, 3, AND 4 OF BLOCK 1 OF THE HOMESTEAD ADDITION TO THE CITY OF GILLETTE, CAMPBELL COUNTY, WYOMING, ACCORDING TO THE OFFICIAL PLAT THEREOF FILED IN BOOK 4 OF PLATS, PAGE 254 OF THE RECORDS OF CAMPBELL COUNTY, WYOMING, ALL MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1E; THENCE N.89°42'09"E., ALONG THE NORTH LINE OF SAID LOT 1E, A DISTANCE OF 445.76 FEET; THENCE N.00°17'51"W., A DISTANCE OF 33.66 FEET; THENCE N.89°42'09"E., A DISTANCE OF 511.62 FEET; THENCE S.01°06'33"E., A DISTANCE OF 167.24 FEET; THENCE N.89°42'09"E., A DISTANCE OF 300.12 FEET; THENCE S.01°07'03"E., A DISTANCE OF 60.00 FEET; THENCE S.89°42'09"W., A DISTANCE OF 300.12 FEET; THENCE S.01°07'41"E., A DISTANCE OF 240.03 FEET TO THE NORTHWEST CORNER OF SAID LOT 2D; THENCE N.89°42'09"E., ALONG THE NORTH LINE OF SAID LOT 2D, A DISTANCE OF 300.08 FEET TO THE NORTHEAST CORNER OF SAID LOT 2D; THENCE S.01°07'03"E., ALONG THE EAST LINE OF SAID LOT 2D, A DISTANCE OF 141.68 FEET; S.39°32'04"W., A DISTANCE OF 212.41 FEET; THENCE S.89°42'09"W., A DISTANCE OF 161.64 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2D ALSO BEING THE SOUTHEAST CORNER OF SAID LOT 1B; THENCE S.89°42'09"W., ALONG THE SOUTH LINE OF SAID LOT 1B, A DISTANCE OF 857.23 FEET; THENCE N.46°08'08"W., A DISTANCE OF 191.77 FEET TO THE WEST LINE OF SAID LOT 1B; THENCE N.02°11'36"E., ALONG THE WEST LINE OF SAID LOT 1B, A DISTANCE OF 404.78 FEET TO THE NORTHWEST CORNER OF SAID LOT 1B ALSO BEING THE SOUTHWEST CORNER OF SAID LOT 1E; THENCE N.02°11'36"E., ALONG THE WEST LINE OF SAID LOT 1E, A DISTANCE OF 200.53 FEET TO THE POINT OF BEGINNING, CONTAINING 19.026 ACRES MORE OR LESS.

SITE DATA

PLATTED/MEASURED
EXISTING RETAIL PARCEL (LOT 1B) = 11.570 AC / 11.563 AC
EXISTING RETAIL PARCEL (LOT 1E) = 5.616 AC / 5.616 AC
PARCEL (LOT 2D) = 1.840 AC / 1.839 AC
TOTAL = 19.026 AC / 19.018 AC

LAND USE CLASSIFICATION: COMMERCIAL
ZONING CLASSIFICATION: GILLETTE, WYOMING
LOCAL JURISDICTION: GILLETTE, WYOMING
FLOOD ZONE CLASSIFICATION: AE (500 YEAR STORM)

BUILDING DATA

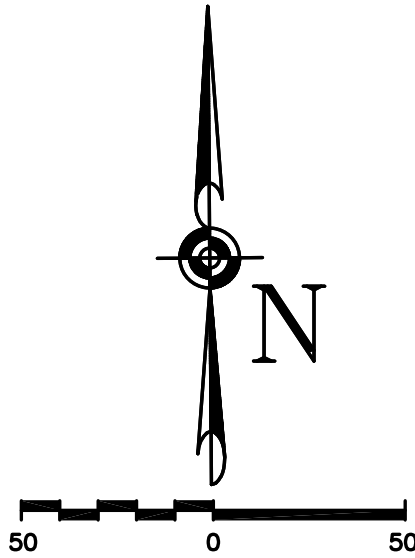
EXISTING RETAIL SUPERCENTER = 208,637 SF
PROPOSED GENERAL RETAIL = 5,125 SF
FUTURE FUELING STATION = 483 SF
TOTAL = 214,245 SF

PARKING INFORMATION

	BUILDING SQ.FT. ¹	TOTAL PARKING PROVIDED SPACES 2,3	TOTAL PARKING RATIO SPACES ³
PROPOSED GENERAL RETAIL	5,125	1,024 SPACES (EXISTING)	4.9/4.8/1,000 SQ.FT. ⁴ (EXISTING/APPROVED)
WALMART (EXISTING)	209,120	978 SPACES (POST DEVELOPMENT)	4.6/1,000 SQ.FT. (POST DEVELOPMENT)
TOTAL (PROPOSED)	214,245		

NOTES

- EXISTING AND PROPOSED BUILDING SIZE PROVIDED BY BRR ARCHITECTURE, INC.
- EXISTING PARKING COUNTS ARE BASED ON ORIGINAL CONSTRUCTION PLANS PROVIDED BY OTHERS AND A REVIEW OF AVAILABLE AERIAL PHOTOGRAPHS.
- PARKING SPACES OCCUPIED BY CART CORRALS HAVE BEEN EXCLUDED FROM THE PARKING COUNTS AND PARKING RATIOS.
- A 4.8/1000 SF PARKING RATIO WAS APPROVED BY THE CITY OF GILLETTE DURING THE SITE DEVELOPMENT PLAN REVIEW FOR THE PROPOSED EXPANSION IN 2005.



LEGEND

- PROPERTY LINE
- EXISTING PARKING
- PROPOSED PARKING
- EXISTING LANDSCAPED TO REMAIN UNDISTURBED APPROXIMATELY 73,000 SF

WALMART STORES INC
2300 S DOUGLAS HWY
GILLETTE, WY 82718
HOMESTEAD ADD
LOT B BLOCK 1
LOT 1E BLOCK 1
PCL NO: 50723410800500

EXISTING BUILDING
208,637 SF

WALMART STORES INC
2500 S DOUGLAS HWY
GILLETTE, WY 82718
HOMESTEAD ADD
LOT 2D BLOCK 1
PCC NO: 507234108010

WALMART
FFE=4527.50
5,125 SF
2500 S DOUGLAS HWY

SNOW STORAGE UNIT
AREA SLOPED TOWARDS
PARKING LOT



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CONSULTANTS

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CONSULTING
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BARTLETT, ILLINOIS 60015
PH: (815) 384-0000 • FAX: (815) 384-0710

Walmart
GILLETTE, WY
STORE NO: 1485
JOB NUMBER:

ISSUE BLOCK

ADD	PR	#1	4/3/17

CHECKED BY: SJP
DRAWN BY: NSK
PROTOTYPE: 195SC
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DOCUMENT DATE: 03/02/17

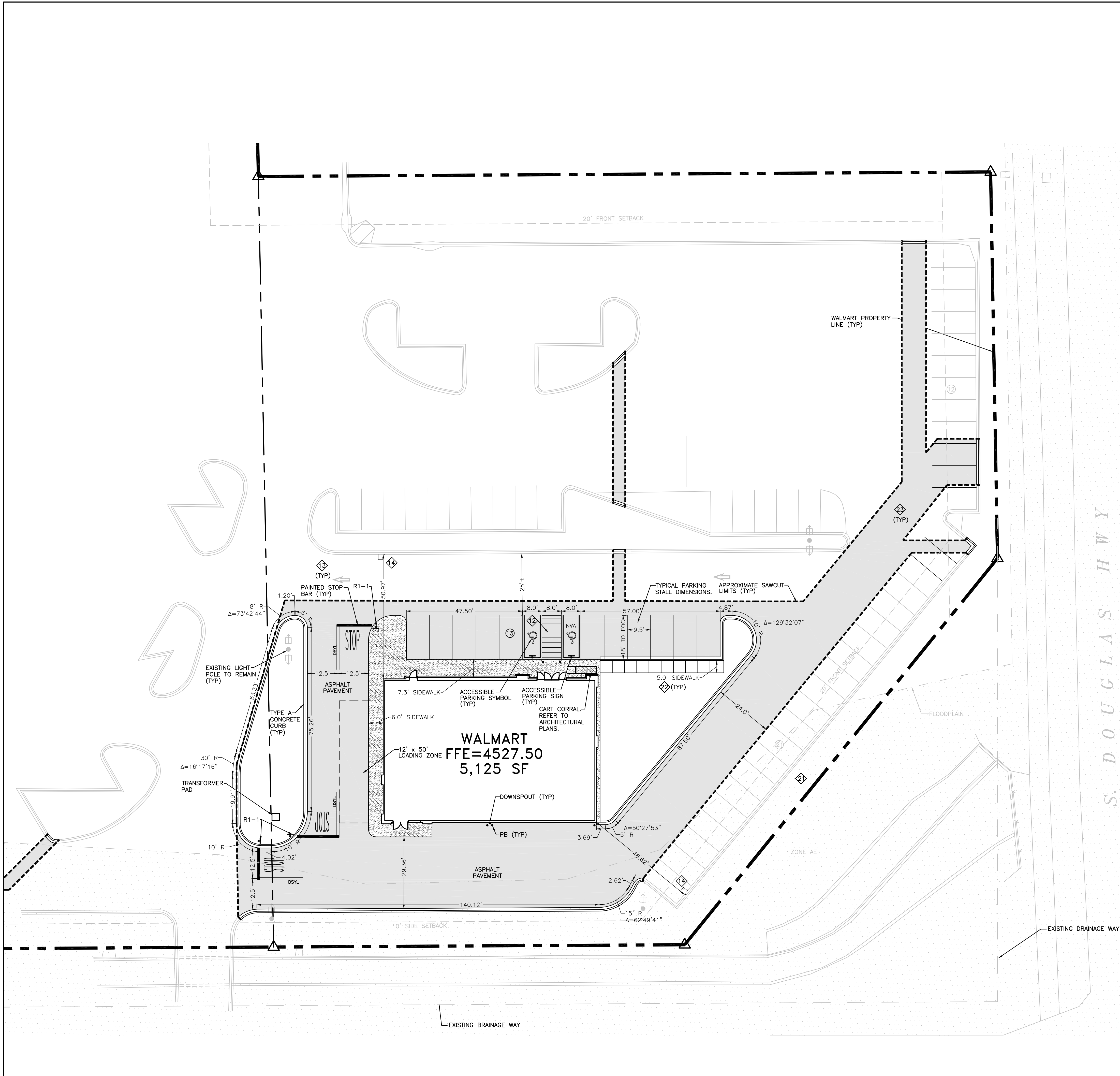
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OVERALL SITE
DEVELOPMENT
PLAN

SHEET:

SD1



NOTES:

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF SLOPE PAVING, SIDEWALKS, EXIT PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SOD, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SPECIFIC FIRE LANE MARKING AND SIGNAGE REQUIREMENTS WITH THE AUTHORITY HAVING JURISDICTION. BY SUBMITTING A BID ON THE PROJECT THE CONTRACTOR AFFIRMS THAT ADEQUATE FUNDS HAVE BEEN INCLUDED TO ADDRESS THIS REQUIREMENT.
- DIMENSIONS SHOWN ALONG THE PARKING ROW FOR THE 90 DEGREE PARKING SPACE LAYOUT ARE TO THE CENTER OF THE 4" STRIPES. ALL OTHER DIMENSIONS ARE TO THE EDGE OF THE GUTTER U.N.O.
- ALL CURBS SHALL BE CONCRETE CURB AND GUTTER U.N.O. SEE DETAIL SHEET FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY LAND SURVEY INCORPORATED.
- ALL PAINTED PAVEMENT MARKINGS SUCH AS SYMBOLS AND LETTERING SHALL BE PAINTED USING TEMPLATES.
- ALL NEW STRIPING SHALL BE PAINTED (TWO COATS) PER THE SITE WORK SPECIFICATIONS.
- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".
- PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED SYSL/4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE.
- REMOVE ANY EXISTING STRIPING THAT CONFLICTS WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS BY BEAD BLASTING. NO GRINDING OR "BLACKING OUT" WILL BE PERMITTED.
- BUILDING TIES SHOWN FROM THE CORNER OF BUILDING TO A POINT PERPENDICULAR TO THE EXISTING GUTTER LINE.
- ALL NECESSARY INSPECTIONS, APPROVALS, AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR AUTHORITIES SHALL BE COMPLETED PRIOR TO THE ANNOUNCED BUILDING POSSESSION AND THE FINAL CERTIFICATION OF SERVICES.
- ALL DELTA ANGLES ARE 90° U.N.O.
- REFER TO ARCHITECTURAL PLANS FOR LOCATIONS AND DETAILS OF PIPE BOLLARDS LOCATED AROUND THE BUILDING.
- SEE ARCHITECTURAL PLANS FOR CONCRETE APRON, BUILDING SIDEWALK, SLAB AND PAD DETAILS.
- ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE).
- PROPOSED DEVELOPMENT WILL SHARE REFUSE STORAGE AREA AND PICKUP WITH THE EXISTING FACILITY.
- SNOW STORAGE IS PROHIBITED WITHIN THE FEMA FLOODPLAIN.
- REFER TO ARCHITECTURAL PLAN FOR ADDITIONAL INFORMATION ON SIDEWALKS.
- REMOVE EXISTING ASPHALT PAVEMENT AND REPLACE WITH NEW.

- LEGEND
- PROPERTY LINE
 - SAWCUT LINE
 - NEW ASPHALT PAVEMENT
 - BUILDING SIDEWALK
 - FLOOD PLAIN
 - CUSTOMER PARKING COUNT (STRIPED YELLOW)
 - DOUBLE SOLID YELLOW LINE
 - SIGN
 - PIPE BOLLARD
 - PAINTED AREA
 - ACCESSIBLE PARKING SYMBOL

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CARLSON CONSULTING ENGINEERS, INC.

7088 LEDGESTONE COMMONS
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Walmart

GILLETTE, WY

STORE NO. 1485

JOB NUMBER

ISSUE BLOCK		
	PR #1	4/3/17

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PROTOTYPE:	195SC
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SITE PLAN

SHEET:
SD2



CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES, APPURTENANCES AND IMPROVEMENTS WHICH CONFLICT WITH THE IMPROVEMENTS SHOWN BY THESE PLANS.

UNDERCUTTING NOTICE

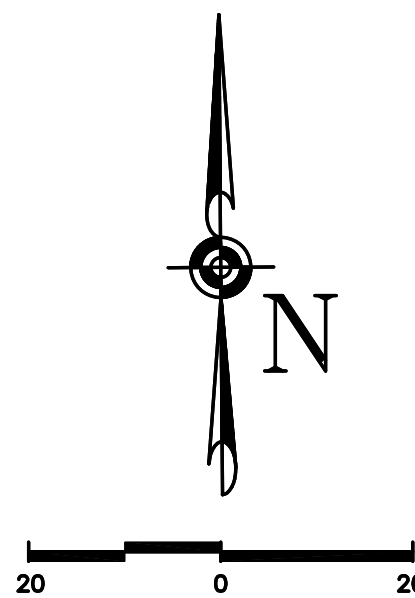
THE CONTRACTOR IS SPECIFICALLY CAUTIONED REGARDING THE PRESENCE OF POTENTIALLY UNSTABLE SOILS ON THIS SITE AND THE NEED FOR UNDERCUTTING AND/OR STABILIZATION. THE CONTRACTOR'S BASE BID SHALL INCLUDE PROVISIONS FOR ADDRESSING THIS CONDITION.

DEWATERING/GROUNDWATER NOTICE

THE CONTRACTOR IS SPECIFICALLY CAUTIONED REGARDING THE POSSIBILITY OF GROUNDWATER ON THIS SITE. WHEN PERFORMING GRADING OPERATIONS CONTRACTOR SHALL PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT AS NECESSARY TO FACILITATE CONSTRUCTION ACTIVITIES. REFER TO MASTER SITE SPECIFICATIONS. THE CONTRACTOR'S BASE BID SHALL INCLUDE PROVISIONS FOR ADDRESSING THIS CONDITION.

LEGEND

- PROPERTY LINE
- STORM SEWER
- CURB INLET/CATCH BASIN
- JUNCTION BOX
- CLEAN OUT
- SPOT ELEVATION
- TOP OF CURB
- TOP OF PAVEMENT
- TOP OF GROUND
- SAWCUT LINE
- RIDGELINES



NOTES:

- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SOD, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- SEE FOUNDATION SUBSURFACE PREPARATION NOTE FOR GRANULAR MATERIAL UNDER FLOOR SLAB.
- SEE PROJECT SITE WORK SPECIFICATIONS FOR SITE PREPARATION PROCEDURES FOR ALL AREAS EXCLUSIVE OF THE BUILDING PADS.
- ALL SLOPES STEEPER THAN 3:1 SHALL BE PROTECTED WITH A STABILIZATION FABRIC.
- ACCEPTABLE STORM SEWER MATERIALS:
 - 1) REINFORCED CONCRETE PIPE
 - 2) SPIRAL RIB METAL PIPE
 - 3) CORRUGATED POLYETHYLENE (N-12)
 - 4) POLYVINYL CHLORIDE (PVC) - ONLY PERMITTED IN 15" DIAMETER OR LESS.SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND INFORMATION.
- DOWNSPOUT COLLECTION SYSTEM. STORM SEWER PIPES EXITING BUILDING SHALL HAVE A MINIMUM COVER OF 2 FEET AND MINIMUM SLOPE OF 2%. SEE ARCH PLANS FOR ADDITIONAL DETAILS.
- SLOPE ON ALL ADA ACCESSIBLE ROUTES SHALL NOT EXCEED 1:50.
- ELEVATION OF NEW EDGE OF PAVEMENT MATCH EXISTING.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL FITTINGS, BENDS, TEES, ETC. REQUIRED FOR DOWNSPOUT COLLECTION SYSTEM.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE IN ALL AREAS IMPACTED BY CONSTRUCTION.
- CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT, AS SHOWN, TO ALLOW FOR A CLEAN, STRAIGHT JOINT BETWEEN OLD AND NEW SURFACES. CONTRACTOR SHALL ONLY SAWCUT TO LIMITS NECESSARY TO INSTALL NEW SITE FEATURES SHOWN ON THESE PLANS AND ENSURE POSITIVE DRAINAGE IN ALL AREAS.
- CONTRACTOR SHALL ADJUST TOPS OF CLEANOUTS, MANHOLES, VALVES, ETC. TO MATCH FINAL GRADE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ANY UTILITY COMPANY WHICH MAINTAINS A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ASSUME THE RESPONSIBILITY FOR ANY DAMAGE, INCURRED BY ANY UTILITY COMPANY, TO THEIR LINES AS A RESULT OF ACTIVITIES, WHETHER THESE LINES ARE SHOWN ON THE CONSTRUCTION PLANS OR NOT. CONTRACTOR SHALL CONTACT 811 FOR LOCATION OF UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING OF CONSTRUCTION.
- NEW STORM SEWER TO MATCH INVERT ELEVATION OF EXISTING STORM SEWER.
- CONNECT TO EXISTING CURB AND GUTTER. MATCH EXISTING IN GRADE AND ALIGNMENT.

FOUNDATION SUBSURFACE PREPARATION WAL-MART STORE NO. 1485 - ADDITION
GILLETTE, WYOMING
AET REPORT NO. 17-02812 NOVEMBER 11, 2016

UNLESS SPECIFICALLY INDICATED OTHERWISE IN THE DRAWINGS AND/OR SPECIFICATIONS, THE LIMITS OF THIS SUBSURFACE PREPARATION ARE CONSIDERED TO BE THAT PORTION OF THE SITE DIRECTLY BENEATH AND 5 FEET BEYOND THE BUILDING FOOTPRINT AND APPURTENANCES.

APPURTENANCES ARE THOSE ITEMS ATTACHED TO THE BUILDING PROPER (REFER TO DRAWING SHEET SP1), TYPICALLY INCLUDING, BUT NOT LIMITED TO, THE BUILDING SIDEWALKS, PORCHES, RAMPS, STOOPS, ETC. THE BASE DOES NOT EXTEND BEYOND THE LIMITS OF THE ACTUAL BUILDING AND THE APPURTENANCES.

ESTABLISH THE FINAL SUBGRADE ELEVATION TO ALLOW FOR THE CONCRETE SLAB, BASE, REFERENCE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR REQUIRED SLAB THICKNESS. THE 4" THICK BASE MATERIAL SHALL CONFORM TO THE GRADING 'W' REQUIREMENTS AS DEFINED IN SECTION 803.4 AGGREGATES FOR SUBBASE AND BASE OF THE WYOMING DEPARTMENT OF TRANSPORTATION (WYDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. BASE CAN BE CONSIDERED AS A PORTION OF THE 3' GRANULAR ENGINEERED FILL ZONE REQUIRED BELOW INTERIOR SLABS. THE BASE SHALL BE PROVIDED BY THE BUILDING CONTRACTOR IN JOINT PROJECTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ACCURATE MEASUREMENTS FOR ALL CUT AND FILL DEPTHS REQUIRED. ANY PROPOSED EQUIVALENT ALTERNATIVE BASE OR SUBBASE MATERIAL MUST BE SUBMITTED FOR APPROVAL WITHIN 30 DAYS AFTER AWARD OF CONTRACT. ANY EQUIVALENT ALTERNATIVE SHALL ONLY BE USED IF APPROVED IN WRITING BY THE CEC AND ADR.

EXISTING SLABS, PAVEMENTS, AND BELOW-GRADE STRUCTURES SHALL BE REMOVED FROM THE BUILDING AREA. REMOVE SOFT OR OTHERWISE UNSUITABLE MATERIAL FROM THE BUILDING AREA. PROOFROLL EXPOSED SUBGRADE. REMOVE AND REPLACE UNSUITABLE AREAS WITH SUITABLE MATERIAL. SUBGRADE MATERIAL SHALL BE FREE OF ORGANIC AND OTHER DELETERIOUS MATERIALS AND SHALL MEET THE FOLLOWING REQUIREMENTS:

LOCATION WITH RESPECT TO FINAL GRADE P.I. L.L.
BUILDING AREA, BELOW UPPER 3 FEET <20 MAX.> <40 MAX.>
BUILDING AREA, UPPER 3 FEET <12 MAX.> <25 MAX.>

THE FOUNDATION SYSTEM SHALL BE ISOLATED SPREAD FOOTINGS AT COLUMNS AND CONTINUOUS SPREAD FOOTINGS AT WALLS BEARING ON A MINIMUM OF THREE (3) FEET OF IMPORTED COMPACTED GRANULAR ENGINEERED FILL.

FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8-INCHES IN THICKNESS. SLAY SOILS FOR COMMON FILL AREAS SHOULD BE COMPACTED WITHIN A MOISTURE CONTENT RANGE OF 1 PERCENT BELOW TO 3 PERCENT ABOVE OPTIMUM (UNLESS MODIFIED BY THE GEOTECHNICAL ENGINEER). DUE TO THE VARYING WATER CONTENT OF THE SITE SOILS, PROCESSING AND MOISTURE CONDITIONING WILL LIKELY BE REQUIRED BEFORE THE SOILS CAN BE USED. IMPORTED GRANULAR ENGINEERED FILL SHOULD BE COMPACTED WITHIN A MOISTURE RANGE OF ± 3 PERCENT OF OPTIMUM UNLESS MODIFIED BY THE GEOTECHNICAL ENGINEER.

THIS FOUNDATION SUBSURFACE PREPARATION DOES NOT CONSTITUTE A COMPLETE SITE WORK SPECIFICATION. IN CASE OF CONFLICT, INFORMATION COVERED IN THIS PREPARATION SHALL TAKE PRECEDENCE OVER THE WAL-MART SPECIFICATIONS. REFER TO THE SPECIFICATIONS FOR SPECIFIC INFORMATION NOT COVERED IN THIS PREPARATION. THIS INFORMATION WAS TAKEN FROM A GEOTECHNICAL REPORT PREPARED BY AMERICAN ENGINEERING TESTING, INC. (AET), DATED NOVEMBER 11, 2016 (GEOTECHNICAL REPORT IS FOR INFORMATION ONLY AND IS NOT A CONSTRUCTION SPECIFICATION).

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PR #1	4/3/17

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GRADING
PLAN

SHEET:
SD3



ALL UNSURFACED AREAS SHALL RECEIVE 4" TOPSOIL AND SOD (WHERE SHOWN). WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

TEMPORARY SEEDING

– SEED: MIXTURE 70% RYEGRASS/30% WINTER WHEAT 4 LBS / 1,000 SQ FT.

– AREAS TO RECEIVE SEED SHALL BE FERTILIZED WITH A COMPLETE FERTILIZER PER EXTENSION SERVICE'S RECOMMENDATIONS.

SOD:

– ALL SODDED AREAS SHALL BE TURF TYPE TALL FESCUE SOD.

– ALL CURBED ISLANDS SHALL BE SODDED UNLESS NOTED OTHERWISE.

– SLOPES GREATER THAN 3:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.

– ALL AREAS TO BE SODDED SHALL RECEIVE A MINIMUM 4" LAYER OF SUITABLE TOPSOIL THAT MEETS THE CONDITIONS LISTED ABOVE AND THAT HAS BEEN TILLED, FINE GRADED, AND HAS HAD ALL STONES, ROOTS, DEBRIS, ETC REMOVED.

– SOD SHALL BE LAID AS SOON AS IT IS DELIVERED TO PLANTING AREAS. ONLY HEALTHY MOIST GREEN SOD SHALL BE LAID. ANY SOD WHICH IS BROWN AND UNDER STRESS IS UNACCEPTABLE. ANY SOD WHICH IS NOT LAID WITHIN 24 HOURS OF DELIVERY SHALL BE UNACCEPTABLE.

– SOD SHALL BE A MINIMUM OF 3/4" THICK, FREE OF WEEDS AND PESTS, AND CUT NO MORE THAN 24 HOURS PRIOR TO PLANTING.

– SOD PANELS SHALL BE LAID TIGHTLY TOGETHER AND END JOINTS STAGGERED SO AS TO MAKE A SOLID SODDED AREA.

– ANY JOINTS OR SEAMS THAT MAY EXIST AFTER LAYING SOD SHALL BE FILLED WITH SAND SO AS TO CREATE A SMOOTH AND UNIFORM GROWING SURFACE.

– SOD SHALL BE ROLLED AND WATERED AT THE TIME OF INSTALLATION TO ENSURE GOOD SOD-SOIL CONTACT AND TO PROVIDE A SMOOTH, UNIFORM WALKING SURFACE.

SEEDING & SODDING NOTES

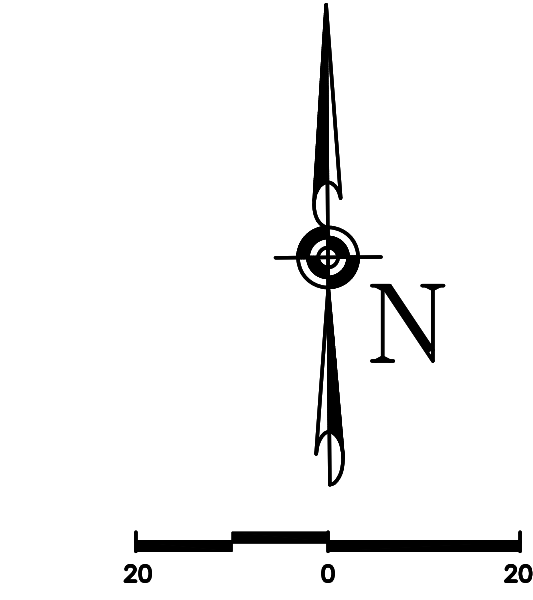
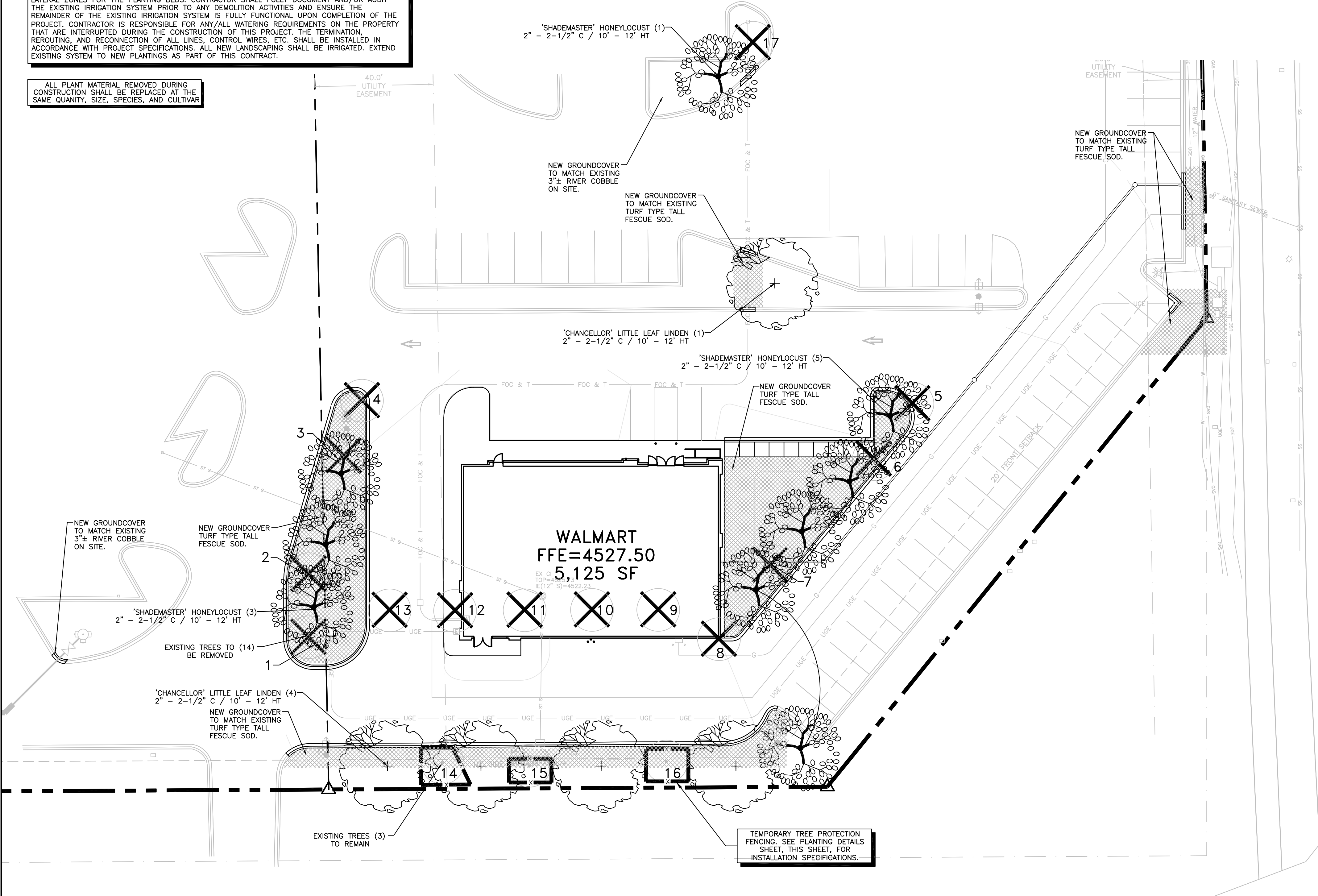
SOD IS TO BE PEGGED ON ALL SLOPES IN ORDER TO HOLD SOD IN PLACE. SEE LAWN AND GRASSES SPECIFICATIONS FOR OTHER REQUIREMENTS.

PLANT SCHEDULE						
QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE (BOTH MINS TO BE MET)	SPACING	CONDITION
TREES:						
9		GLEDTISIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	'SHADEMASTER' HONEYLOCUST	2" – 2-1/2" C / 10' – 12' HT	AS SHOWN	B&B
5		TILIA CORDATA 'CHANCELLOR'	'CHANCELLOR' LITTLE LEAF LINDEN	2" – 2-1/2" C / 10' – 12' HT	AS SHOWN	B&B
SOD/GROUNDCOVERS:						
FILL AREA		FESTUCA ARUNDINACEA	TALL FESCUE	SLAB / ROLL	SOLID	SOD
NOTE: SYMBOLS SHOWN IN TABLE ABOVE ARE FOR SPECIES IDENTIFICATION ONLY. PLANT SIZE SHOWN IN THE TABLE IS NOT INTENDED TO BE REPRESENTATIVE OF THE PLANT AT EITHER INSTALLATION OR MATURITY. SIZE OF SYMBOL SHOWN IN TABLE ABOVE MAY VARY FROM THOSE SHOWN ON PLANS.				NOTE: NO SUBSTITUTIONS OF PLANT MATERIALS ARE ALLOWED.		

NOTE TO CONTRACTOR:
DEMOLITION WILL INCLUDE THE REMOVAL OF A PORTION OF THE EXISTING IRRIGATION SYSTEM. CONSTRUCTION WILL IMPACT PORTIONS OF THE IRRIGATION MAINLINE, CONTROL WIRING, AND LATERAL ZONES FOR THE PLANTING BEDS. CONTRACTOR SHALL FULLY DOCUMENT AND/OR AUDIT THE EXISTING IRRIGATION SYSTEM PRIOR TO ANY DEMOLITION ACTIVITIES AND ENSURE THE REMAINDER OF THE EXISTING IRRIGATION SYSTEM IS FULLY FUNCTIONAL UPON COMPLETION OF THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR ANY/ALL WATERING REQUIREMENTS ON THE PROPERTY THAT ARE INTERRUPTED DURING THE CONSTRUCTION OF THIS PROJECT. THE TERMINATION, REROUTING, AND RECONNECTION OF ALL LINES, CONTROL WIRES, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH PROJECT SPECIFICATIONS. ALL NEW LANDSCAPING SHALL BE IRRIGATED. EXTEND EXISTING SYSTEM TO NEW PLANTINGS AS PART OF THIS CONTRACT.

ALL LANDSCAPE AREAS SHALL BE FULLY IRRIGATED.

ALL PLANT MATERIAL REMOVED DURING CONSTRUCTION SHALL BE REPLACED AT THE SAME QUANTITY, SIZE, SPECIES, AND CULTIVAR



LANDSCAPE CALCULATIONS

- PARKING INTERIOR LANDSCAPING
- EXISTING INTERIOR LANDSCAPE AREA TO BE REMOVED: 2,983 SF
 - REPLACEMENT INTERIOR LANDSCAPE PROVIDED: 3,767 SF
 - EXISTING INTERIOR TREES TO BE REMOVED: 13
 - INTERIOR TREES TO BE REPLACED: 13

TREE INVENTORY LEGEND

#	SIZE	SPECIES*
001	2"	'SHADEMASTER' HONEYLOCUST
002	2"	'SHADEMASTER' HONEYLOCUST
003	2"	'SHADEMASTER' HONEYLOCUST
004	2"	'SHADEMASTER' HONEYLOCUST
005	2"	'SHADEMASTER' HONEYLOCUST
006	2"	'SHADEMASTER' HONEYLOCUST
007	2"	'SHADEMASTER' HONEYLOCUST
008	2"	'SHADEMASTER' HONEYLOCUST
009	2"	'CHANCELLOR' LITTLE LEAF LINDEN
010	2"	'CHANCELLOR' LITTLE LEAF LINDEN
011	2"	'CHANCELLOR' LITTLE LEAF LINDEN
012	2"	'CHANCELLOR' LITTLE LEAF LINDEN
013	2"	'CHANCELLOR' LITTLE LEAF LINDEN
014	2"	'CHANCELLOR' LITTLE LEAF LINDEN
015	2"	'CHANCELLOR' LITTLE LEAF LINDEN
016	2"	'CHANCELLOR' LITTLE LEAF LINDEN
017	2"	'SHADEMASTER' HONEYLOCUST

* ALL EXISTING PLANTINGS BASED ON ORIGINAL CONSTRUCTION PLANS.

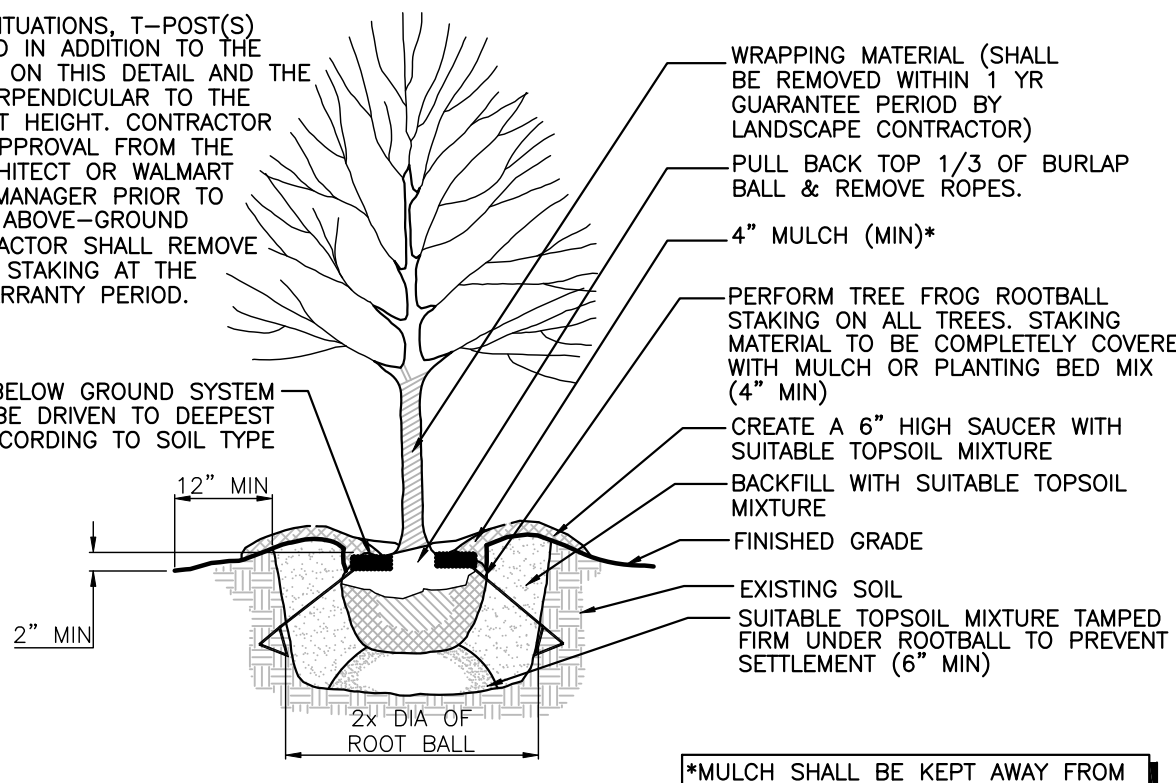
LEGEND

- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN

NOTES:

- SEE PLANTING NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
- PRUNE TREE AS DIRECTED BY LANDSCAPE ARCHITECT.
- BRANCHING HEIGHT TO AAN STANDARDS.
- SEE PLANS & SPECS FOR APPROVED MATERIALS AND INSTALLATION REQUIREMENTS.
- CARE SHALL BE TAKEN NOT TO CUT, CRIMP, OR PINCH ANY DRIP IRRIGATION TUBING WHILE INSTALLING TREE FROG TREE STAKING.
- IN HIGH WIND SITUATIONS, T-POST(S) SHALL BE ADDED IN ADDITION TO THE STAKING SHOWN ON THIS DETAIL AND THE TREE GUYED PERPENDICULAR TO THE TRUNK AT CHEST HEIGHT. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT OR WALMART CONSTRUCTION MANAGER PRIOR TO INSTALLING ANY ABOVE-GROUND STAKING. CONTRACTOR SHALL REMOVE ABOVE-GROUND STAKING AT THE END OF THE WARRANTY PERIOD.

SECTION NTS



*MULCH SHALL BE KEPT AWAY FROM THE TRUNK OF ALL PLANT MATERIAL

TREE PLANTING

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PLANTING PLAN

SHEET: SD5