

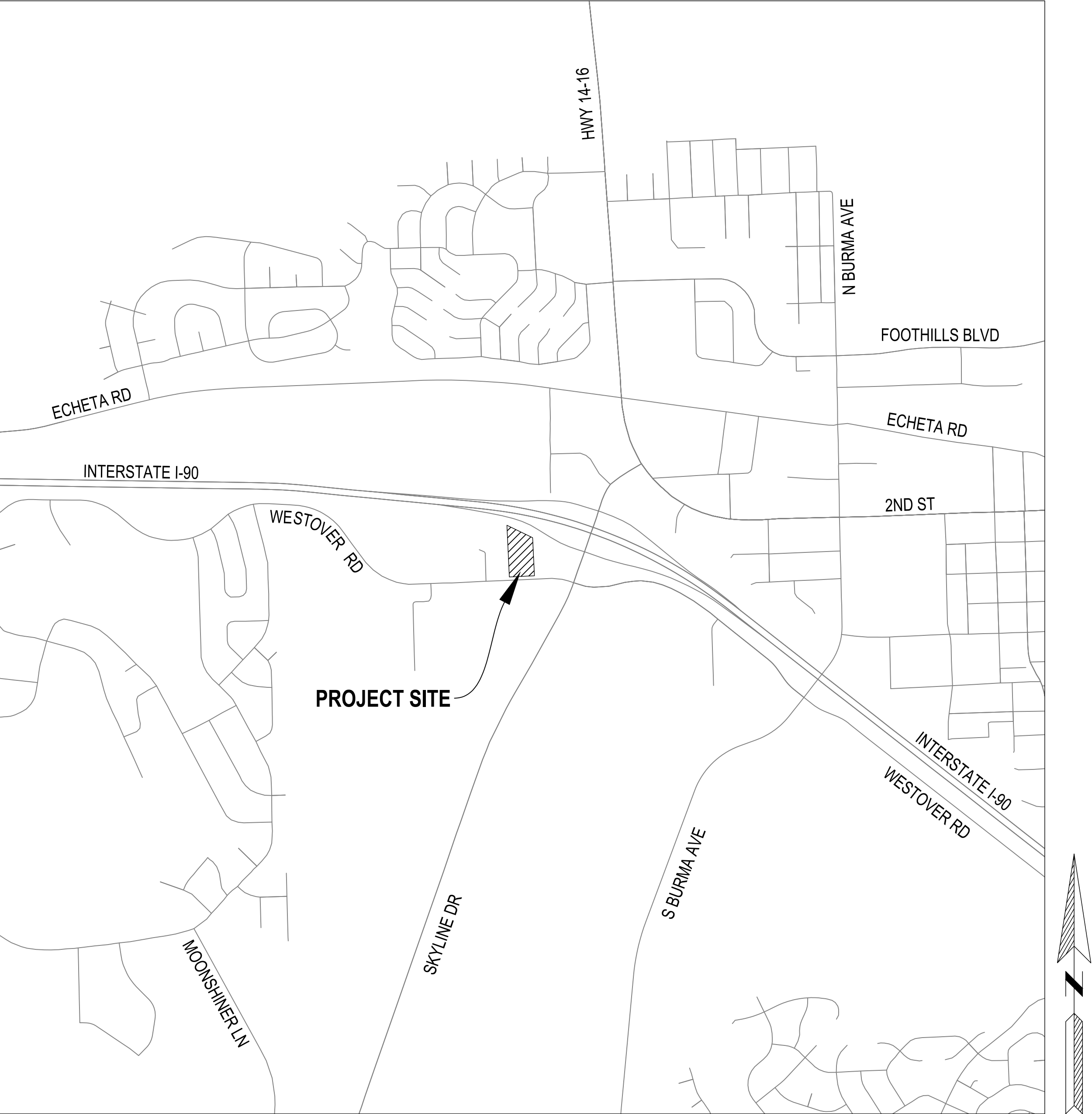
DEVELOPMENT PLAN

HAMPTON INN & SUITES

82 UNIT, 4 STORY HOTEL

GILLETTE, WYOMING

LEGEND			
	EX. STREET LIGHT EX. POWER POLE NEW GREASE TRAP NEW CLEAN OUT EX. SANITARY MANHOLE NEW SANITARY MANHOLE EX. STORM MANHOLE NEW STORM MANHOLE EX. STORM CATCH BASIN NEW STORM CATCH BASIN EX. CULVERT FLARE END NEW CULVERT FLARE END ADA MARKING NEW GATE VALVE EX. GATE VALVE EX. WATERLINE ELBOWS NEW WATERLINE ELBOWS NEW TAPPING SLEEVE & VALVE EX. HYDRANT NEW HYDRANT EX. STUMP EX. SHRUB EX. DECIDUOUS TREE EX. CONIFEROUS TREE DOWN SPOUT EXPANSION JOINT BORING LOCATION AND NUMBER PROPERTY CORNER (FOUND) PROPERTY CORNER (PLACED) EX. SIGN NEW SIGN PEDESTAL TRANSFORMER EX. ELEC MANHOLE PARKING COUNT		ACCESSIBLE (ADA) RAMP EX. BUILDING EX. FENCE EX. SIDEWALK EX. EASEMENT EX. ROW/PROPERTY LINE EX. CURB EX. SANITARY SEWER EX. WATER EX. STORM SEWER EX. FORCE MAIN EX. RETAINING WALL EX. CONTOUR EX. GUARDRAIL EX. FIBER OPTIC EX. GAS LINE EX. ELECTRIC EX. OVERHEAD ELECTRIC EX. CABLE TV EX. TELEPHONE EX. ASPHALT EX. CONC EX. GRAVEL NEW BUILDING NEW FENCE NEW SIDEWALK NEW EASEMENT NEW ROW/PROPERTY LINE NEW CURB NEW SANITARY SEWER NEW WATER NEW STORM SEWER NEW FORCE MAIN NEW RETAINING WALL NEW CONTOUR NEW DRAIN TILE NEW ROOF DRAIN SET BACK SILT FENCE CONSTRUCTION LIMITS CENTER LINE NEW ASPHALT NEW CONC NEW GRAVEL GRADING HIGH POINT



VICINITY MAP

Not to Scale

OWNER

ZANFAR KHAN
240 N. 27TH STREET
SPEARFISH, SD 57783

ARCHITECT

DAVID WOLTERSTORFF
LIGHTTOWLER JOHNSON ASSOCIATES
700 MAIN AVE
FARGO, ND 58103

CIVIL ENGINEER

STEVEN G. DEWALD
LIGHTTOWLER JOHNSON ASSOCIATES
700 MAIN AVE
FARGO, ND 58103

SITE STATISTICS

TOTAL SITE AREA : 160,826 SF (3.69 ACRES)

TOTAL IMPERVIOUS AREA: 76,408 SF (1.75 ACRES) = 47.5%
TOTAL PERVIOUS AREA: 84,418 SF (1.94 ACRES) = 52.5%

LEGAL:

LOTS 2A & 2B, BLOCK 1 OF WESTOVER HILLS SUBDIVISION PHASE I, CITY OF GILLETTE, CAMPBELL COUNTY, WYOMING.

ZONING:

C-1: GENERAL COMMERCIAL

YARD REQUIREMENTS:

FRONT: 20 FEET
SIDE: 5 FEET
REAR: 15 FEET
MAXIMUM BUILDING COVERAGE: NONE
MAXIMUM HEIGHT: 45 FEET

PARKING:

ONE (1) SPACE FOR EACH SLEEPING OR LIVING UNIT

TOTAL SPACES REQUIRED: 82
TOTAL ADA SPACES REQUIRED: 4 (INCL. 1 VAN)

TOTAL SPACES PROVIDED: 82
TOTAL ADA SPACES PROVIDED: 5 (INCL. 1 VAN)

BENCHMARK 1:

SOUTHEAST FLANGE BOLT OF HYDRANT ON SOUTH SIDE OF WESTOVER ROAD,
ACROSS FROM SITE
ELEVATION: 4632.33

BENCHMARK 2:

TOP OF SOUTH END OF RETAINING WALL IN WESTERLY ADJACENT PROPERTY
ELEVATION: 4637.27

BASIS OF BEARING:

THE SOUTHERLY LINE OF LOT 2, BLOCK 1, WESTOVER HILLS SUB PH I IS ASSUMED TO
BEAR S89°06'28"W

SHEET INDEX

SHEET NO.	SHEET DESCRIPTION
C100	COVER SHEET
C200	SITE PLAN
C300	GRADING PLAN

CERTIFICATE OF DEVELOPMENT PLAN

IT IS AGREED THAT THE CONDITIONS OF THIS DEVELOPMENT PLAN SHALL BE BINDING UPON THE UNDERSIGNED, THEIR SUCCESSORS AND ASSIGNS, SHALL LIMIT AND CONTROL THE ISSUANCE AND VALIDITY OF ALL ZONING PERMITS, AND SHALL RESTRICT AND LIMIT THE LOCATION, CONSTRUCTION AND USE OF ALL LAND AND STRUCTURES INCLUDED WITHIN THE PLAN TO ALL OF THE CONDITIONS SET FORTH UPON THE PLAN; AND THAT THE DEVELOPMENT PLAN MAY BE AMENDED ONLY UPON APPLICATION TO AND APPROVAL BY THE PLANNING COMMISSION.

EXECUTED THIS ____ DAY OF _____, A.D., 20____, BY:

STATE OF WYOMING)
)
CAMPBELL COUNTY)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, A.D. 20____, BY
_____, AS A FREE AND VOLUNTARY ACT AND DEED.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

CERTIFICATE OF APPROVAL BY THE CITY OF GILLETTE PLANNING COMMISSION

APPROVED BY THE CITY OF GILLETTE PLANNING COMMISSION THIS ____ DAY OF _____, A.D. 20____.

CHAIRMAN

SECRETARY

CERTIFICATE OF APPROVAL BY THE COUNTY CLERK AND RECORDER

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE CLERK AND RECORDER AT

_____, O'CLOCK __, M., THIS ____ DAY OF _____, 20____, AND IS DULY

RECORDED IN BLOCK NUMBER _____, PAGE NUMBER _____.

COUNTY CLERK



ARCHITECTURE ENGINEERING
PLANNING LAND SURVEYING

FARGO, ND 701.293.1350
WILLISTON, ND 701.577.9833
www.LJA-T.COM

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ONE CALL - WYOMING
1-800-849-2476 or 811

REVISIONS

C100

REVISIONS

HAMPTON INN & SUITES
82 Unit, 4 Story Hotel
2313 WESTOVER RD
GILLETTE, WY 82718

LJA JOB #	15296
PROJ. DATE:	08-18-2016
FILE NAME:	15296.DWG
DWG. SCALE:	1" = 30' @ 30" x 42"
CHECKED BY:	SGD
DRAWN BY:	BW-TK

SHEET DESCRIPTION

SITE PLAN

C200

SITE PLAN NOTES

- ALL PAVEMENT SECTION MATERIALS & INSTALLATION SHALL MEET THE REQUIREMENTS OF THE CITY OF GILLETTE STANDARD SPECIFICATIONS (LATEST EDITION).
- AGGREGATE BASE COURSE SHALL MEET THE REQUIREMENTS OF THE CITY OF GILLETTE STANDARD SPECIFICATIONS (LATEST EDITION).
- CONCRETE SHALL BE A BATCH PLANT MIX MEETING THE REQUIREMENTS OF THE CITY OF GILLETTE STANDARD SPECIFICATIONS (LATEST EDITION). MIN. 4000 PSI
- ASPHALTIC CONCRETE SHALL BE A PLANT MIX MEETING THE REQUIREMENTS OF THE CITY OF GILLETTE STANDARD SPECIFICATIONS (LATEST EDITION).
- PAINTED PARKING STRIPING SHALL BE 4" WIDE WHITE STRIPES & BE LOCATED AS SHOWN ON THE PLANS. ACCESSIBLE PARKING STRIPING SHALL BE PER LOCAL CODES. DIRECTIONAL STRIPING SHALL BE PAINTED WHITE. PAINT & ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF GILLETTE STANDARD SPECIFICATIONS (LATEST EDITION).
- CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR OWN TAKEOFF QUANTITIES.
- DIMENSIONS SHOWN ARE TO FACE OF CURB.
- ALL FACE OF CURB RADI ARE 5' UNLESS OTHERWISE SPECIFIED.
- RETAINING WALL DESIGN IS DEFERRED AT THIS TIME. PLANS WILL BE SUBMITTED AT A LATER DATE.
- TRENCH DRAIN SHALL BE: NEENAH R-4990-AX TYPE D WITH CURB OPENING NEENAH R-3262-3 W/ 4" ID OUTLET, OR APPROVED EQUAL.
- THE OWNER / ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE CITY FOR REQUIRED TRANSFORMER PAD MATERIALS & INSTALLATION TECHNIQUES TO BE IN ACCORDANCE WITH THE CITY OF GILLETTE STANDARD SPECIFICATIONS (LATEST EDITION).
- THE CONTRACTOR SHALL PROVIDE A COMPACT TEST AT TRANSFORMER LOCATION. TEST RESULTS SHALL BE EITHER FAXED TO (307)866-6564 OR EMAILED TO THE CITY ELECTRICAL ENGINEER AT EEPROJECTS@GILLETTEWY.GOV.
- THE CONTRACOTR SHALL PROVIDE & INSTALL REQUIRED GROUND ROD IN THE TRANSFORMER PAD FOOTPRINT PER CITY OF GILLETTE STANDARD SPECIFICATIONS (LATEST EDITION).
- THE OWNER / CONTRACTOR SHALL PURCHASE & INSTALL METER SOCKET IN ENCLOSURE. THE METER SOCKET SHALL BE PURCHASED FROM THE CITY OF GILLETTE'S WAREHOUSE & SHALL MEET THE MINIMUM ENCLOSURE SIZE OF 36"x36"x8".
- INSTALLATION OF Cts BY CONTRACTOR SHALL BE PROVIDED BY THE CITY OF GILLETTE'S WAREHOUSE.
- THE CONTRACTOR SHALL TRENCH & INSTALL SCH 40 CONDUIT WITH GRC WHERE NEEDED PER CITY OF GILLETTE ELECTRICAL ENGINEERING STANDARD SPECIFICATIONS (LATEST EDITION). CONTRACTOR TO CONTACT & COORDINATE WITH THE CITY ELECTRICAL ENGINEERING FIELD INSPECTOR AT (307)887-2530.
- COST OF ALL PRIMARY / SECONDARY WIRE & CONNECTION COMPONENTS - CITY TO INSTALL FROM JUNCTION BOX TO TRANSFORMER & INVOICE THE DEVELOPER.
- ALL EQUIPMENT CLEARANCES SHALL MAINTAIN A MINIMUM 3-FT ON SIDES & BACK WITH 10-FT FRONT CLEARANCE.

UTILITY NOTES

- LOCATIONS & TOP ELEVATIONS OF STRUCTURES MAY NEED TO BE ADJUSTED IN THE FIELD BY THE CONTRACTOR WHERE NECESSARY & SHALL BE APPROVED BY THE ENGINEER.
- A MINIMUM OF 5 FEET HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN UTILITY CONDUIT CROSSOVER & WATERLINE APPURTENANCES, I.E., HYDRANTS, VALVES, TEES, ETC.
- CONSTRUCTION OF THE SANITARY SEWER SYSTEM & CONNECTION TO THE EXISTING SEWER SYSTEM SHALL MEET THE REQUIREMENTS OF & SHALL BE INSTALLED UNDER THE DIRECTION OF THE CITY OF GILLETTE.
- SANITARY SEWER MAINS SHALL HAVE A MANDREL PULLED TO CHECK FOR CRUSH.
- PVC SANITARY SEWER PIPE SHALL MEET THE REQUIREMENTS OF ASTM D3034, LATEST REVISION (SDR-35) IN SIZES SPECIFIED.
- CONTRACTOR SHALL CONFIRM LOCATION & INVERT ELEVATION OF SEWER TIE-IN POINT PRIOR TO ANY SITE OR BUILDING CONSTRUCTION.
- ROOF DRAINS, FOUNDATION DRAINS OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- ALL SANITARY SEWER LINES SHALL BE TELEVISED AND THE REPORT SHALL BE SUBMITTED TO THE CITY AND THE PROJECT ENGINEER BEFORE THE FINAL INSPECTION WILL BE COMPLETED.
- ALL WATER LINES SHALL BE PRESSURE TESTED AT 150 PSI FOR TWO HOURS.
- ALL PVC WATER LINES SHALL HAVE TRACER WIRE INSTALLED ALONG SIDE WATER MAIN.
- THE MINIMUM DEPTH OF BURY FOR THE WATER MAIN SHALL BE 6 FEET MEASURED FROM THE TOP OF THE PIPE.
- CONSTRUCTION OF THE WATER SYSTEM & CONNECTION TO THE EXISTING WATER SYSTEM SHALL MEET THE REQUIREMENTS OF & SHALL BE INSTALLED UNDER THE DIRECTION OF THE JURISDICTION.
- INSTALLATION OF THE PRIVATE FIRE SERVICE MAINS & APPURTENANCES SHALL BE IN ACCORDANCE WITH NFPA 24 & THE REQUIREMENTS OF THE CITY OF GILLETTE FIRE JURISDICTION.
- COPPER WATER PIPE & FITTINGS SHALL BE TYPE "K" COPPER.
- DUCTILE IRON WATER PIPE & FITTINGS SHALL BE CLASS 350, AS SPECIFIED BY AWWA C150 FOR LAYING CONDITION TYPE 2. PIPE JOINTS & FITTINGS SHALL BE RESTRAINED.
- PVC WATER PIPE & FITTINGS LESS THAN 4" SHALL BE CLASS 200 WITH DIMENSION RATIO 21 OR LOWER CONFORMING TO ASTM D2241.
- PVC WATER PIPE & FITTINGS 4" & LARGER SHALL MEET AWWA C-900. PIPE JOINTS & FITTINGS SHALL BE BUILT TO RESIST THRUST BY TRUST BLOCKING OR ADEQUATE RESTRAINT APPROVED BY THE PROJECT ENGINEER.
- WATER METERS, BOXES, VAULTS & BPPS SHALL MEET ALL REQUIREMENTS OF THE UTILITY COMPANY. CONTRACTOR SHALL CONFIRM ALL ITEMS AGAINST CURRENT LIST OF APPROVED DEVICES PRIOR TO ORDERING.
- WATER WORK SHALL NOT BEGIN UNTIL AREAS OF WATERLINE CONSTRUCTION ARE ROUGH GRADED (WITHIN 1 FOOT OF FINISH GRADE) & FILL AREAS ARE COMPLETED & COMPACTED.
- ALL PIPE & APPURTENANCES INSTALLED ON A DEPRESSURIZED WATER MAIN ARE TO BE WIPED CLEAN & ALL INTERIOR SURFACES SATURATED WITH A MINIMUM 1% CHLORINE SOLUTION.
- ALL PRODUCTS THAT MAY COME INTO CONTACT WITH THE WATER INTENDED FOR USE IN A PUBLIC WATER SYSTEM SHALL MEET AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) / NATIONAL SANITATION FOUNDATION (NSF) INTERNATIONAL STANDARDS 60 AND 61, AS APPROPRIATE. A PRODUCT WILL BE CONSIDERED AS MEETING THESE STANDARDS IF SO CERTIFIED BY NSF, THE UNDERWRITERS LABORATORIES, OR OTHER ORGANIZATION ACCREDITED BY ANSI TO TEST AND CERTIFY EACH PRODUCT.
- INSTALLED PIPE SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651. AFTER FINAL FLUSHING AND BEFORE THE NEW WATER MAIN IS CONNECTED TO THE DISTRIBUTION SYSTEM, TWO SETS OF ACCEPTABLE BACTERIOLOGICAL SAMPLES, TAKEN AT LEAST 24 HOURS APART, SHALL BE COLLECTED FROM THE NEW MAIN.
- CHLORINATED DISINFECTION WATER SHALL NOT BE DISCHARGED DIRECTLY INTO A STORM DRAINAGE SYSTEM OR SURFACE WATERS WITHOUT THE PRIOR USE OF APPROPRIATE DE-CHLORINATION METHODS.
- WATER LINE CROSSING ANY & ALL SEWERS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18" BETWEEN THE OUTSIDE OF THE WATER MAIN PIPE & THE SEWER PIPE. ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING SUCH THAT BOTH JOINTS WILL BE EQUAL DISTANT & AS FAR FROM THE SEWER AS POSSIBLE. IF WATER CROSSES BELOW SANITARY SEWERS, THE SEWER MUST BE WATER MAIN MATERIAL FOR THAT SPAN.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION OF UNDERGROUND UTILITIES BY THE APPROPRIATE UTILITY COMPANY.
- PROPER COORDINATION WITH THE RESPECTIVE UTILITY COMPANIES SHALL BE PERFORMED BY THE CONTRACTOR TO INSURE THAT ALL UTILITY COMPANY STANDARDS FOR MATERIAL & METHODS ARE MET.
- THE GENERAL CONTRACTOR SHALL OVERSEE INSTALLATION OF UTILITIES & COORDINATE WITH ALL SUBCONTRACTORS TO AVOID CONFLICTS.
- CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING AS NECESSARY TO MEET REQUIRED EXCAVATIONS & GRADES. MUDDY WATER TO BE PUMPED FROM EXCAVATION & WORK AREAS MUST BE HELD IN SETTLING BASINS OR FILTERED PRIOR TO ITS DISCHARGE INTO SURFACE WATERS OR STORM DRAINAGE SYSTEMS. WATER MUST BE DISCHARGED THROUGH A PIPE, WELL GRASSED OR LINED CHANNEL, OR OTHER EQUIVALENT MEANS SUCH THAT DISCHARGE DOES NOT CAUSE EROSION OR SEDIMENTATION.
- SANITARY SEWER WITH LESS THAN 6 FEET OF COVER (MEASURED TO TOP OF PIPE) SHALL HAVE 4 INCH THICK, 4 FEET WIDE RIGID INSULATION PLACED ±1 FOOT ABOVE TOP OF PIPE.

STORM SEWER
STRUCTURE SCHEDULE

#	TYPE	DETAILS
ST-100	15" FES	15" HDPE (SE) 4612.00
ST-101	OUTLET CONTROL STRUCTURE SEE DETAIL	RM 4616.65 12" HDPE (SE) 4612.60 15" HDPE (NW) 4612.60
ST-102	15" FES	RM 4613.00 12" HDPE (NW) 4613.00
ST-200	18" FES	18" HDPE (SE) 4613.50
ST-201	48" MH R-1733	RM 4620.42 15" HDPE (E) 4614.28 18" HDPE (NW) 4614.28
ST-202	48" MH R-3067-VB	RM 4619.52 15" HDPE (S) 4615.30 15" HDPE (W) 4615.30
ST-203	SBI R-3067-VB	RM 4621.46 15" HDPE (S) 4617.25 15" HDPE (W) 4617.25
ST-204	SBI R-3067-VB	RM 4622.12 12" HDPE (W) 4619.50 15" HDPE (N) 4618.70
ST-205	48" MH R-2510-A	RM 4622.50 12" HDPE (W) 4619.50 12" HDPE (N) 4619.50
ST-206	SBI R-3067-V	RM 4624.85 12" HDPE (W) 4620.10 12" HDPE (E) 4620.10
ST-207	RDI R-2510-A	RM 4625.06 12" HDPE (E) 4620.65

SANITARY SEWER
STRUCTURE SCHEDULE

#	TYPE	DETAILS
SS-100	48" MH	RM 4616.74 8" PVC (N) 4615.55 8" PVC (EX) (W) 4615.45 8" PVC (EX) (E) 4615.45
SS-101	48" MH	RM 4622.83 8" PVC (W) 4617.40 8" PVC (S) 4617.40
SS-102	48" MH	RM 4625.55 8" PVC (N) 4618.90 8" PVC (E) 4618.90

SITE STATISTICS

TOTAL SITE AREA : 160,826 SF (3.69 ACRES)

TOTAL IMPERVIOUS AREA: 76,408 SF (1.75 ACRES) = 47.5%
TOTAL PERVIOUS AREA: 84,418 SF (1.94 ACRES) = 52.5%

LEGAL:

LOTS 2A & 2B, BLOCK 1 OF WESTOVER HILLS SUBDIVISION PHASE I,
CITY OF GILLETTE, CAMPBELL COUNTY, WYOMING.

ZONING:

C-1: GENERAL COMMERCIAL

YARD REQUIREMENTS:

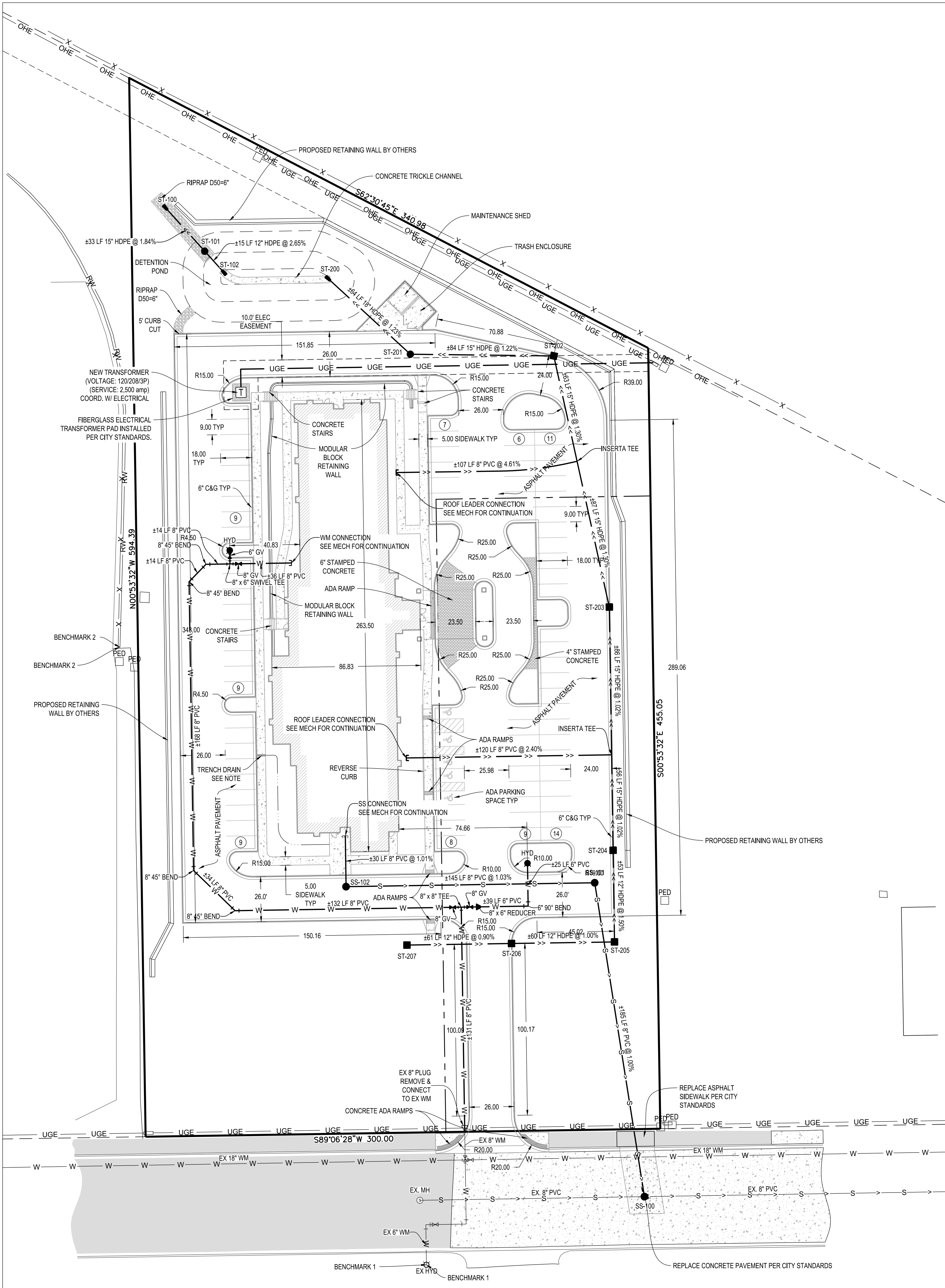
FRONT: 20 FEET
SIDE: 5 FEET
REAR: 15 FEET
MAXIMUM BUILDING COVERAGE: NONE
MAXIMUM HEIGHT: 45 FEET

PARKING:

ONE (1) SPACE FOR EACH SLEEPING OR LIVING UNIT

TOTAL SPACES REQUIRED: 82
TOTAL ADA SPACES REQUIRED: 4 (INCL. 1 VAN)

TOTAL SPACES PROVIDED: 82
TOTAL ADA SPACES PROVIDED: 5 (INCL. 1 VAN)



BENCHMARK 1:

SOUTHEAST FLANGE BOLT OF HYDRANT ON SOUTH SIDE
OF WESTOVER ROAD, ACROSS FROM SITE
ELEVATION: 4632.33

BENCHMARK 2:

TOP OF SOUTH END OF RETAINING WALL IN WESTERLY
ADJACENT PROPERTY
ELEVATION: 4637.27

BASIS OF BEARING:

THE SOUTHERLY LINE OF LOT 2, BLOCK 1, WESTOVER
HILLS SUB PH I IS ASSUMED TO BEAR S89°06'28\"/>

CALL BEFORE YOU DIG
ONE CALL - WYOMING
1-800-849-2476 or 811

GRADING & DRAINAGE NOTES

1. LOCATIONS AND TOP ELEVATIONS OF INLETS & STRUCTURES WILL BE ADJUSTED IN THE FIELD BY THE CONTRACTOR WHERE NECESSARY & SHALL BE APPROVED BY THE ENGINEER.
2. ALL LANDSCAPE ISLANDS SHALL BE GRADED TO DRAIN OVER CURBS.
3. IF UNSUITABLE SUBGRADE MATERIALS ARE ENCOUNTERED, THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL & REPLACEMENT (FROM OFF-SITE BORROW MATERIAL) OF ALL UNSUITABLE MATERIAL TO MEET COMPACTION REQUIREMENTS UNDER PAVED SURFACES. UNSUITABLE MATERIALS ARE THOSE CLASSIFIED AS MH, CH, OH, OL & PEAT IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM. UNLESS APPROVED IN WRITING BY THE PROJECT GEOTECHNICAL ENGINEER, THE SITE ENGINEER & GEOTECHNICAL ENGINEER, SHALL BE NOTIFIED IMMEDIATELY UPON ENCOUNTERING UNSUITABLE SUBGRADE MATERIAL.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATIONS & GRADING INCLUDING FURNISHING OFF-SITE BORROW AS REQUIRED TO MEET PLAN GRADES. OFF-SITE BORROW SHALL MEET ALL REQUIREMENTS OF THE PROJECT GEOTECHNICAL REPORT.
5. CONTRACTOR SHALL UNIFORMLY GRADE BEHIND CURBS TO MATCH EXISTING GRADES AT PROPERTY LINES.
6. GRADE TO ENSURE POSITIVE DRAINAGE. ALL FINISHED SURFACES SHALL BE FREE FROM SURFACE IRREGULARITIES.
7. COMPACTION REQUIREMENTS ARE AS FOLLOWS A. SUBGRADES UNDER PAVED AREAS & STRUCTURES 95 PERCENT STANDARD (ASTM D698) 6 INCHES B. UNPAVED AREAS TO BE GRASSED OR LANDSCAPED 90 PERCENT STANDARD (ASTM D698) FULL DEPTH OF FILL.
8. COMPACTION TESTING SHALL BE PROVIDED BY CONTRACTOR.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR OWN TAKEOFF QUANTITIES.
10. ALL SIDEWALK ELEVATIONS ADJACENT TO BUILDING ENTRANCES SHALL BE 0.04' BELOW FFE UNLESS OTHERWISE SPECIFIED.
11. ALL FINISHED GRADE ELEVATIONS ADJACENT TO BUILDING SHALL BE 1.0' BELOW FFE UNLESS OTHERWISE SPECIFIED.
12. THE CONTRACTOR SHALL BE AWARE OF THE EXISTING 3-PHASE PRIMARY LINES RUNNING ALONG ALL SIDES OF THE LOT & THE CONTRACTOR SHALL CALL FOR UTILITY LOCATES PRIOR TO ALTERING THE EXISTING GRADE OF THE SITE.
13. THE CONTRACTOR SHALL MAINTAIN 48" OF COVER ALONG ALL AREAS WHERE EXISTING 3-PHASE PRIMARY LINES ARE LOCATED. PLEASE CONTACT LORI KING WITH THE CITY OF GILLETTE ELECTRICAL ENGINEERING AT (301)686-5277 ON ANY GRADE CHANGES OF 6" OR MORE OCCUR ALONG THESE AREAS.

BENCHMARK 1:

SOUTHEAST FLANGE BOLT OF HYDRANT ON SOUTH SIDE OF WESTOVER ROAD, ACROSS FROM SITE
ELEVATION: 4632.33

BENCHMARK 2:

TOP OF SOUTH END OF RETAINING WALL IN WESTERLY ADJACENT PROPERTY
ELEVATION: 4637.27

BASIS OF BEARING:

THE SOUTHERLY LINE OF LOT 2, BLOCK 1, WESTOVER HILLS SUB PH I IS
ASSUMED TO BEAR S89°06'28"W

GRADING LEGEND

/ME	MATCH EXISTING
FG	FINISH GRADE
FL	FLOWLINE
TW	TOP OF WALL
BW	BOTTOM OF WALL
→	PROPOSED DRAINAGE DIRECTION

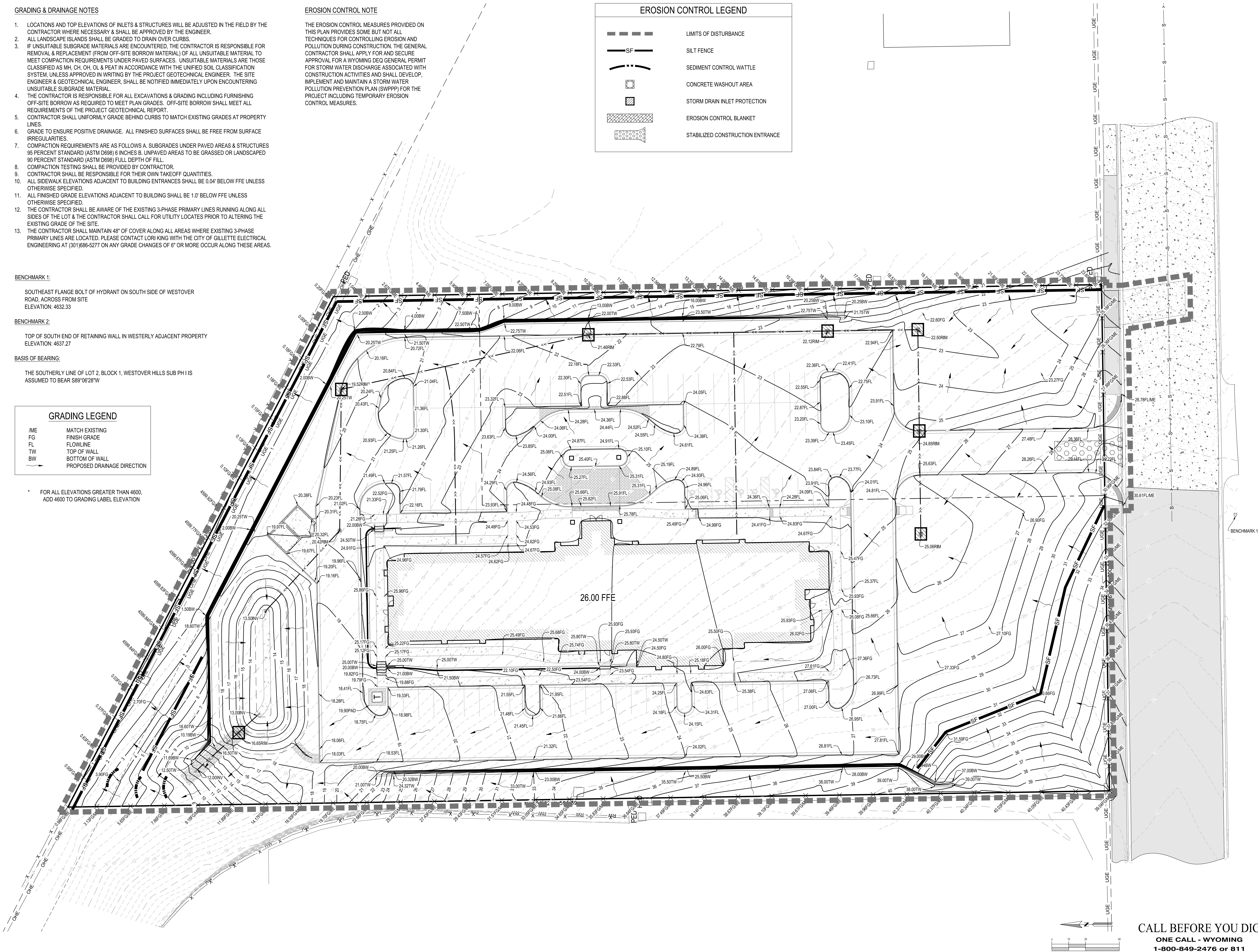
* FOR ALL ELEVATIONS GREATER THAN 4600,
ADD 4600 TO GRADING LABEL ELEVATION

EROSION CONTROL NOTE

THE EROSION CONTROL MEASURES PROVIDED ON THIS PLAN PROVIDES SOME BUT NOT ALL TECHNIQUES FOR CONTROLLING EROSION AND POLLUTION DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL APPLY FOR AND SECURE APPROVAL FOR A WYOMING DEQ GENERAL PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND SHALL DEVELOP, IMPLEMENT AND MAINTAIN A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE PROJECT INCLUDING TEMPORARY EROSION CONTROL MEASURES.

EROSION CONTROL LEGEND

---	LIMITS OF DISTURBANCE
—SF—	SILT FENCE
—	SEDIMENT CONTROL WATTLE
□	CONCRETE WASHOUT AREA
▨	STORM DRAIN INLET PROTECTION
▨	EROSION CONTROL BLANKET
▨	STABILIZED CONSTRUCTION ENTRANCE



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ONE CALL - WYOMING
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REVISIONS

HAMPTON INN & SUITES
82 Unit, 4 Story Hotel
2313 WESTOVER RD
GILLETTE, WY 82718

LJA JOB #	15296
PROJ. DATE:	08-18-2016
FILE NAME:	15296.DWG
DWG. SCALE:	1" = 20' @ 30" x 42"
CHECKED BY:	SSD
DRAWN BY:	BW-TK

SHEET DESCRIPTION

GRADING PLAN

C300

REVISIONS	
12/02/16	CITY COMMENTS
04/04/17	CITY COMMENTS

HAMPTON INN & SUITES
82 Unit, 4 Story Hotel
2313 WESTOVER RD
GILLETTE, WY 82718

LJA JOB #	15296
PROJ. DATE:	08-18-2016
FILE NAME:	15296_L
DWG. SCALE:	1" = 30' @ 30" x 42"
CHECKED BY:	SGD
DRAWN BY:	BW/-KB-TK

SHEET DESCRIPTION
LANDSCAPE PLAN

SITE STATISTICS

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TOTAL IMPERVIOUS AREA: 76,408 SF (1.75 ACRES) = 47.5%
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PLANT SCHEDULE:

DECIDUOUS TREES:				
ACE	Ulmus 'Morton' Accolade	ACCOLADE ELM	9 TOTAL	SHADE TREE
LLF	Tilia cordata	LITTLE LEAF LINDEN	8 TOTAL	SHADE TREE
TFF	Corylus columba	TURKISH FILBERT	13 TOTAL	SHADE TREE

EVERGREEN TREES:				
APP	Pinus nigra	AUSTRIAN PINE	5 TOTAL	EVERGREEN TREE
CBS	Picea pungens 'Glauca'	COLORADO BLUE SPRUCE	6 TOTAL	EVERGREEN TREE

MINIMUM TREE SIZES:
SHADE TREES: 21-1/2" CALIPER MEASURED 6 INCHES ABOVE THE GROUND
EVERGREEN TREES: MINIMUM 5' HEIGHT

LANDSCAPE NOTES:

- THERE IS NO EXISTING TREES AND NO EXISTING LANDSCAPE MATERIAL ON SITE TO BE SAVED.
- CHANGES TO APPROVED PLANS SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF OWNER & LANDSCAPE ARCHITECT.
- CHANGES TO APPROVED PLANS ON PUBLIC PROPERTY SHALL NOT BE MADE WITHOUT APPROVAL FROM THE CITY OF GILLETTE, WY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN TAKEOFF QUANTITIES.
- ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
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- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- 2" RIVER ROCK, COLOR SHALL BE VERIFIED PRIOR TO INSTALLATION AND SHALL HAVE WEED BARRIER FABRIC INSTALLED BENEATH ROCK.
- NO PLANTINGS OVER 36" MAY BE PLANTED WITHIN CLEAR SIGHT TRIANGLES.
- LANDSCAPE PLANTING MUST COVER 85% OF THE LANDSCAPE AREA WITHIN 8-YEARS.
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- STREET TREE INSTALLATION SHALL BE COORDINATED WITH THE PUBLIC WORKS DESIGNER.
- ALL LANDSCAPE PLANTING TO BE IRRIGATED USING DRIP IRRIGATION

	SOD/SEED
	MULCH
	2" RIVER ROCK
	SANITARY MANHOLE
	SANITARY CLEANOUT
	SANITARY SEWER
	STORM MANHOLE
	STORM CATCH BASIN
	STORM SEWER
	HYDRANT
	GATE VALVE
	WATERLINE ELBOWS
	WATER

LANDSCAPE REQUIREMENTS:

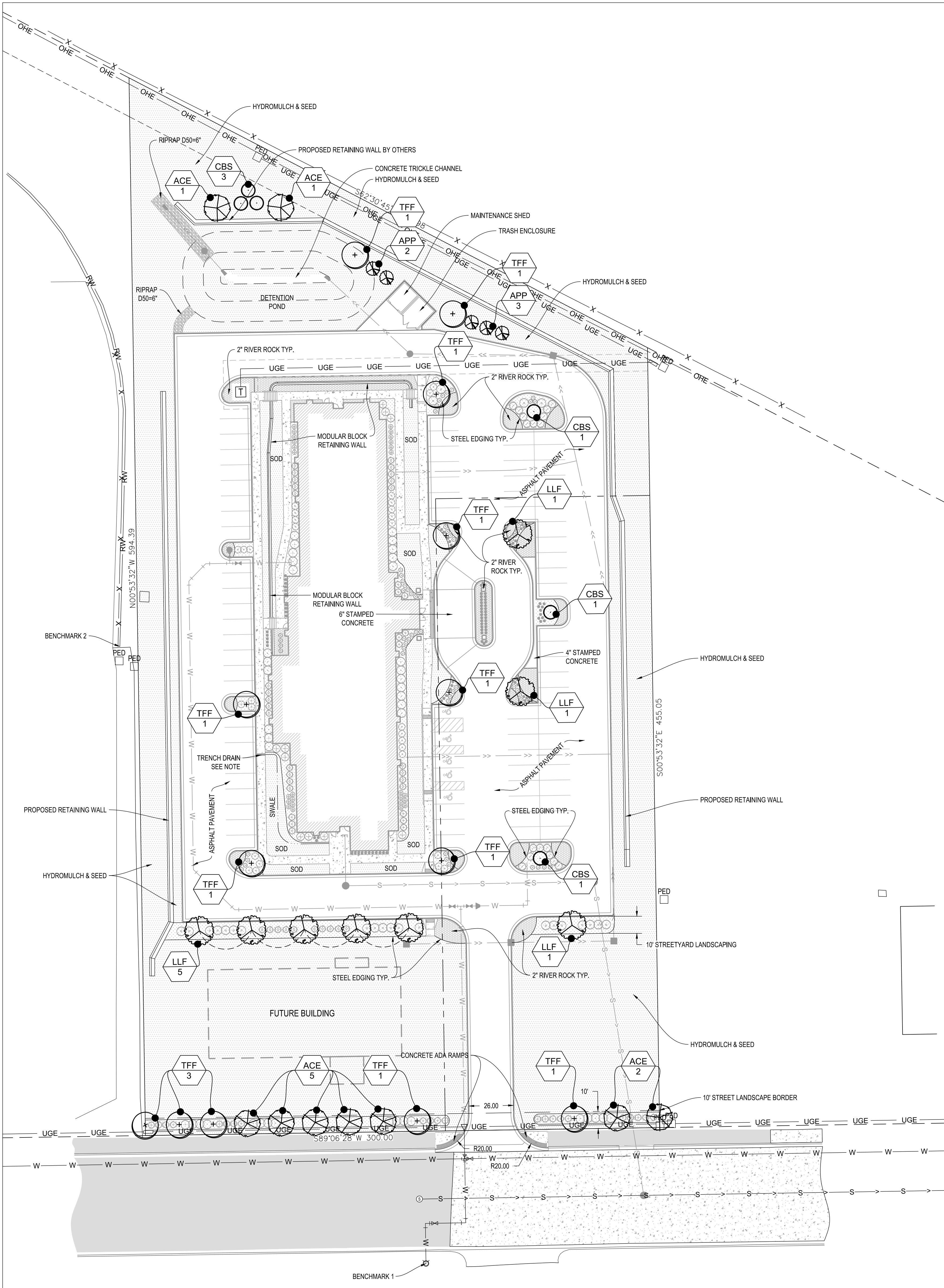
STREET LANDSCAPE BORDER:
REQUIREMENT: SMALLER OF 10 FEET OR 10% OF THE DEPTH OF THE LOT (10' WIDTH)
ONE DECIDUOUS TREE AND FIVE SHRUBS PER 500 SF OF REQUIRED AREA
300 LF X 10 LF = 3,000 SF
3,000 SF / 500 SF = 6 UNITS
REQUIRED = 6 TREES
PROVIDED = 6 TREES
REQUIRED = 30 SHRUBS
PROVIDED = 30 SHRUBS

FIRST 100 LF OF STREETYARD LANDSCAPING:
REQUIREMENT: ONE DECIDUOUS TREE AND FIVE SHRUBS PER 1,000 SF OF REQUIRED AREA
300 LF X 25 LF = 7,500 SF
7,500 SF / 1000 = 7.5 UNITS
REQUIRED = 8 TREES
PROVIDED = 8 TREES
REQUIRED = 38 SHRUBS
PROVIDED = 38 SHRUBS

COLLECTOR ROW:
REQUIREMENT: ONE TREE FOR EVERY 50 LF OF ROW
300 LF / 50 LF = 6 UNITS
REQUIRED = 6 TREES
PROVIDED = 6 TREES

PARKING LOT INTERIOR LANDSCAPING:
REQUIREMENT: ONE DECIDUOUS TREE FOR EACH PARKING SPACES WITHIN THE LOT
5% OF THE PAVED AREA SHALL BE LANDSCAPED
82 PARKING SPACES / 20 PARKING SPACES = 4.1 UNITS
REQUIRED = 5 TREES
PROVIDED = 16 TREES

TOTAL PAVED AREA = 51,323 SF X 5% = 2,566 SF
REQUIRED = 2,566 SF
PROVIDED = 4,630 SF



BENCHMARK 1:

SOUTHEAST FLANGE BOLT OF HYDRANT ON SOUTH SIDE OF WESTOVER ROAD, ACROSS FROM SITE
ELEVATION: 4632.33

BENCHMARK 2:

TOP OF SOUTH END OF RETAINING WALL IN WESTERLY ADJACENT PROPERTY
ELEVATION: 4637.27

BASIS OF BEARING:

THE SOUTHERLY LINE OF LOT 2, BLOCK 1, WESTOVER HILLS SUB PH I IS ASSUMED TO BEAR S89°06'28"W

CALL BEFORE YOU DIG
ONE CALL - WYOMING
1-800-849-2476 or 811

REVISIONS	
12/02/16	CITY COMMENTS
04/04/17	CITY COMMENTS

HAMPTON INN & SUITES
82 Unit, 4 Story Hotel
2313 WESTOVER RD
GILLETTE, WY 82718

LJA JOB #	15296
PROJ. DATE:	08-18-2016
FILE NAME:	15296_L
DWG. SCALE:	1" = 30' @ 30" x 42"
CHECKED BY:	SGD
DRAWN BY:	BW/-KB-TK

SHEET DESCRIPTION

LANDSCAPE SHRUBS

L101

PLANT SCHEDULE:

DECIDUOUS SHRUBS:

AWS	Spiraea x bumalda 'Anthony'	ANTHONY WATERER SPIREA	40 TOTAL	FLOWERING SHRUB
BCC	Potentilla fruticosa	BRUSH CINQUEFOIL	26 TOTAL	FLOWERING SHRUB
CJB	Berberis thunbergii 'Crimson Pymy'	CRIMSON PYGMY DWARF JAP. BAR.	30 TOTAL	SHRUB
DBB	Euonymus alatus 'Compactus'	DWARF BURNING BUSH	24 TOTAL	SHRUB
TS	Rhus typhina 'Baltiger'	TIGER EYE STAGHORN SUMAC	10 TOTAL	SHRUB

EVERGREEN SHRUBS:

CG	Buxus x 'Glencoe'	CHICAGOLAND GREEN BOXWOOD	33 TOTAL	EVERGREEN SHRUB
HM	Thuja occidentalis 'Hetz Midget'	HETZ MIDGET ARBORVITAE	34 TOTAL	EVERGREEN SHRUB
HUJ	Juniperus horizontalis 'Hughes'	HUGHES JUNIPER	17 TOTAL	EVERGREEN SHRUB

PERENNIALS:

CA	Calamagrostis x acutiflora 'Karl Foerster'	FORSTER'S FEATHER REED GRASS	101 TOTAL	ORNAMENTAL GRASS
NSG	Panicum virgatum 'Northwind'	NORTHWIND SWITCH GRASS	58 TOTAL	ORNAMENTAL GRASS

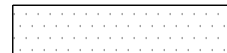











MINIMUM PLANT SIZES:

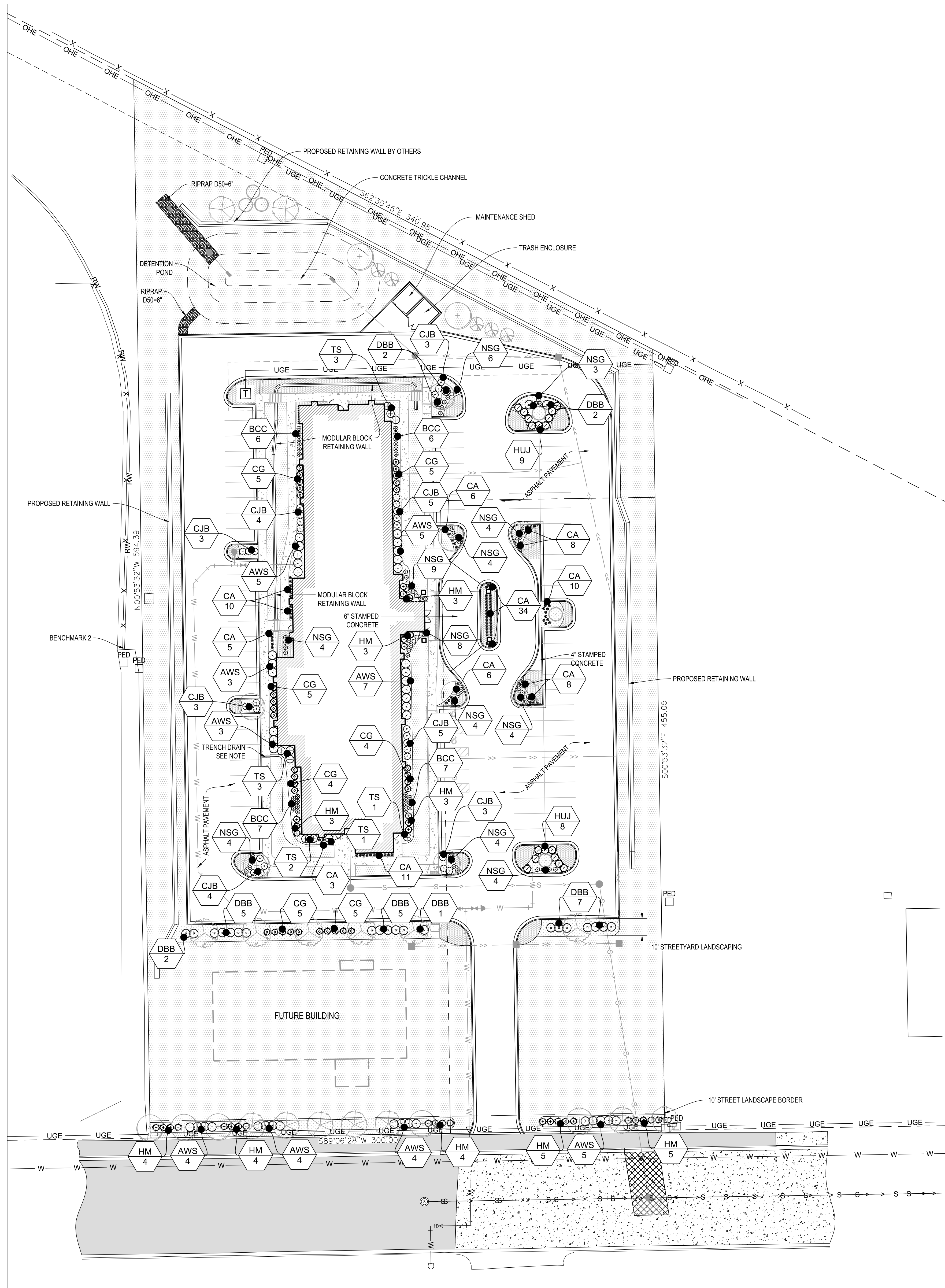
SHRUBS SHALL BE #5 GAL (MINIMUM 15" ABOVE GROUND)

PERENNIALS SHALL BE #1 GAL

LANDSCAPE NOTES:

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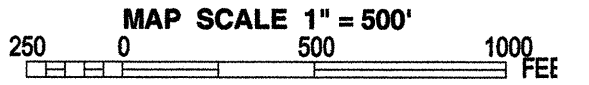
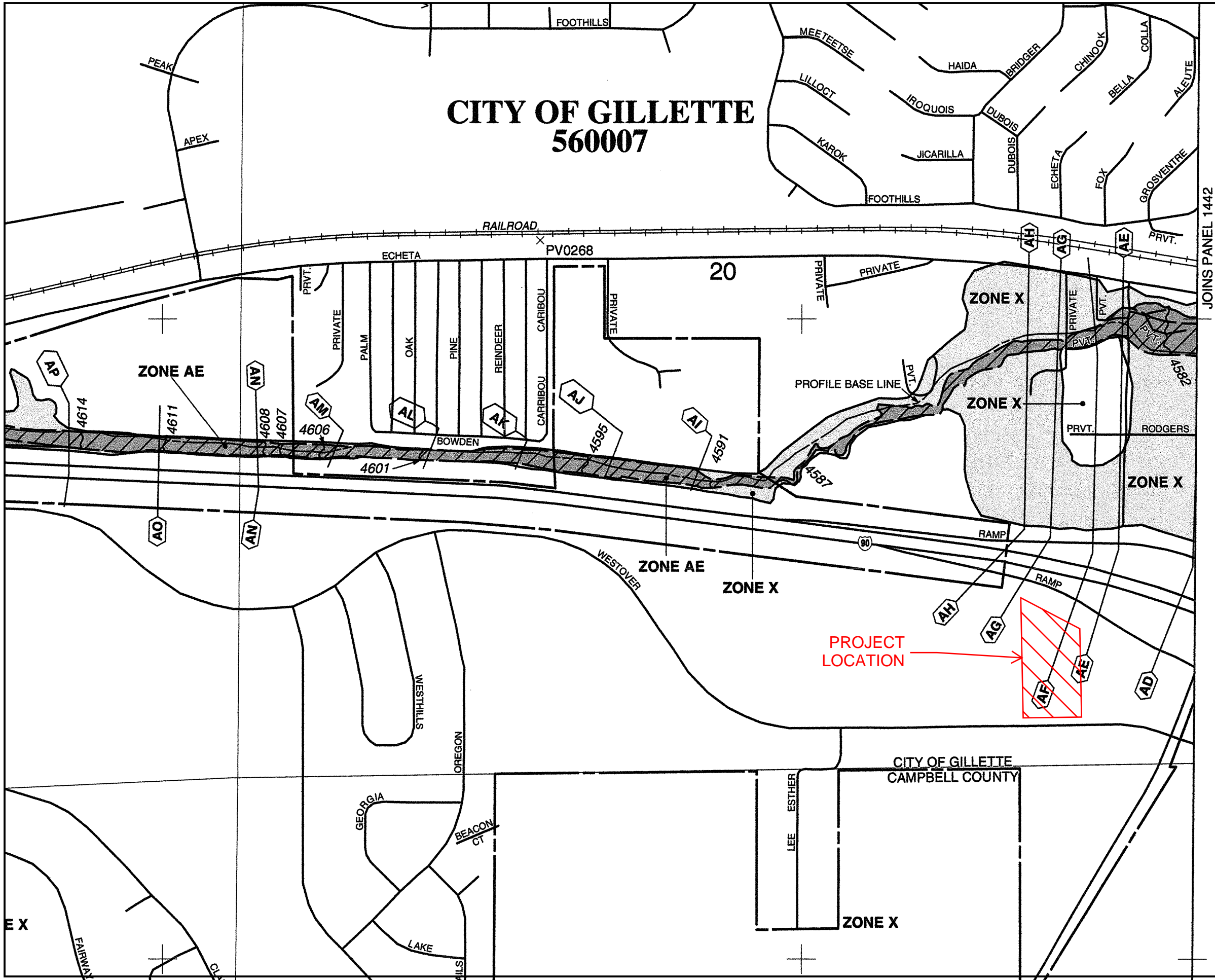
CALL BEFORE YOU DIG
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1. LANDSCAPE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS ON THE PROPERTY WITH THE GENERAL CONTRACTOR AND BY CALLING THE UTILITIES UNDERGROUND LOCATION SERVICE PRIOR TO STAKING PLANT LOCATIONS.
2. THE OWNER RESERVES THE RIGHT TO INCREASE THE TOTAL QUANTITIES OF THE LANDSCAPE MATERIALS AND/OR UNITS, USE LARGER UNIT SIZES OR VARY THE SPECIES AT THE TIME OF PLANTING IF THERE ARE AVAILABLE CONSTRAINTS PER THE LANDSCAPE DESIGNER'S WRITTEN APPROVAL.
3. COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATIONS WITH OTHER CONTRACTORS WORKING ON SITE.
4. NO INSTALLATIONS SHALL OCCUR UNTIL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
5. NO PLANTING SUBSTITUTIONS SHALL BE ACCEPTED UNLESS APPROVAL IS REQUESTED FROM THE LANDSCAPE DESIGNER PRIOR TO THE SUBMISSION OF A BID AND/OR QUOT.
6. THE CONTRACTOR IS RESPONSIBLE FOR ALL ONGOING MAINTENANCE OF THE NEWLY INSTALLED MATERIALS UNTIL THE TIME OF OWNER SIGN-OFF AND SHALL WARRANTY ALL PLANT MATERIAL FOR ONE YEAR AFTER OWNER SIGN-OFF. ANY AND ALL ACTS OF VANDALISM OR DAMAGE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
7. CONTRACTOR SHALL PROVIDE A WRITTEN REQUEST TO THE LANDSCAPE DESIGNER FOR THE OWNER ACCEPTANCE INSPECTION.
8. CONTRACTORS SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE AFTER THE COMPLETION OF PLANTING ALL LANDSCAPE MATERIALS AND UNITS. ALL REPLACEMENTS TO BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
9. SOD IS RECOMMENDED AT ENTRY AREAS AND NOTED ON PLANS. SEED OPEN AREAS UNLESS OTHERWISE NOTED. REFERENCE SWPPP NOTES FOR PROPER INSTALLATION AND MIXTURE.

1. PLANTING BED PREPARATION: ALL MASS PLANTING BEDS SHALL BE TILLED TO A MINIMUM DEPTH OF TEN (10) INCHES. AMENDMENTS SHALL BE APPLIED AFTER CULTIVATION.
2. BACKFILL/TOP SOIL: USE TOP SOIL EXCAVATED FROM THE SITE AND PLANTING HOLES AND PROVIDE AMENDMENTS TO MEET NDOT TOP SOIL SPECIFICATIONS. REMOVE ALL DEBRIS INCLUDING ROCKS LARGER THAN THREE (3) INCHES IN DIAMETER.
3. FERTILIZER: ALL PLANT MATERIALS SHALL BE FERTILIZED, UPON INSTALLATION, WITH DRIED BONE MEAL AND/OR OTHER SPECIFIED FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS UNLESS NOTED OTHERWISE.
4. MULCH MATERIAL: AS SPECIFIED ON THE LANDSCAPE PLANS, MULCH MASS PLANTING BEDS TO 3" DEPTH OVER FIBER MAT WEED BARRIER. ALL FOUNDATION PLANTING BEDS TO RECEIVE 4" PVC COMMERCIAL GRADE EDGER AND 4" OF WASHED RIVER ROCK MULCH OVER 6 MIL BLACK POLY LANDSCAPE FABRIC. SITE PERENNIAL PLANTING BEDS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH WITH NO FIBER MAT WEED BARRIER. ALL DECIDUOUS AND EVERGREEN TREES TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH WITH NO MULCH IN DIRECT CONTACT WITH THE TREE TRUNK.
5. TREE STAKING: IT SHALL BE THE CONTRACTOR'S OPTION TO STAKE AND/OR GUY THE TREES ACCORDING TO THE PROVIDED DETAILS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE EVERY STEP NECESSARY TO MAINTAIN THE TREES AND SHRUBS IN AN UPRIGHT AND PLUMB CONDITION AT ALL TIMES UNTIL THE END OF THE PLANT GUARANTEE PERIOD, ESPECIALLY WHERE SOIL OR WIND CONDITIONS ARE A PROBLEM. AT THE END OF THE PLANT GUARANTEE PERIOD THE CONTRACTOR SHALL REMOVE STAKING, IF INSTALLED, PRIOR TO OWNER ACCEPTANCE.
6. PLANTING PLAN: ALL PROPOSED PLANTS SHALL BE LOCATED CAREFULLY AS SHOWN ON THE PLANTING PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY DISCREPANCIES IN THE QUANTITIES EXIST, RESPECT STATED DIMENSIONS, DO NOT SCALE DRAWINGS.
7. EDGING: EDGING SHALL BE 4" COMMERCIAL GRADE EDGING WITH THREE (3) METAL ANCHOR STAKES PER 20 FOOT SECTION. ALL MASS PLANTING BEDS SHALL HAVE EDGING PLACED BETWEEN MULCH AREA AND ANY ADJACENT TURF AREA.

1. PLANT LOCATIONS ARE TO BE ADJUSTED AS NECESSARY TO SCREEN UTILITIES BUT NOT BLOCK WINDOWS OR IMPEDE ACCESS.
2. ALL GROUND COVER AREAS SHALL BE TOP-DRESSED WITH A 2" LAYER OF BARK MULCH OVER FIBER MAT WEED BARRIER. ALL PERENNIAL PLANTING BEDS TO RECEIVE 2" OF MULCH WITH NO FIBER MAT WEED BARRIER. ALL TREES ARE TO BE STAKED PER DETAIL.
3. ALL GROUNDCOVER PLANTINGS WILL BE PLACED NO FARTHER THAN 6" FROM EDGE OF ROAD OR CURB OF LEADER OR BACK OF CURB. SPACING SHALL ENSURE FULL COVERAGE IN ONE YEAR.
4. ALL TREES SHALL RECEIVE 3'-0" DIAMETER MULCH RING, UNLESS OTHERWISE NOTED.
5. THERE SHALL BE NO STORING OF MATERIAL OR EQUIPMENT, PERMITTING OF ANY BURNING OR OPERATING OR PARKING OF EQUIPMENT UNDER BRANCHES OF ANY EXISTING PLANTS TO REMAIN. IF EXISTING PLANTS TO REMAIN ARE DAMAGED DURING CONSTRUCTION, THE PLANTS SHALL BE REPLACED WITH THE SAME SPECIES AND SIZE AS THOSE DAMAGED.
6. ALL PLANT MATERIAL SHALL BE NURSERY GROWN STOCK AND MEET ANSI Z60.1 STANDARDS. ALL PLANT MATERIALS SHALL BE TAGGED AT THE NURSERY AT LEAST 1 MONTH PRIOR TO PLANTING FOR THE LANDSCAPE DESIGNERS REVIEW.
7. REVISIONS TO THE LANDSCAPE ELEMENTS WITH THE LANDSCAPE DESIGNER PRIOR TO INSTALLATION. FIELD MODIFICATIONS MAY BE NECESSARY. FINAL LAYOUT TO BE REVIEWED BY THE LANDSCAPE ARCHITECT. ANY CHANGES MUST BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL.
8. THE QUALITY OF PLANT MATERIAL SHALL FOLLOW THE GUIDELINES OF THE AMERICAN STANDARD FOR NURSERY STOCK.
9. PLANTINGS SHALL BE WARRANTED (FOR REPLACEMENT) FOR ONE YEAR AFTER FINAL ACCEPTANCE.
10. UNLESS STREETScape HAS BEEN APPROVED, THE DEVELOPER SHALL LANDSCAPE ALL RIGHT-OF-WAY WITH SOD AND TREES, NO LOOSE MATERIAL (I.E., ROCK, BARK, GRAVEL, ETC.) SHALL BE ALLOWED. DECORATIVE CONCRETE OR LOW GROWING PLANT MATERIAL MAY BE ALLOWED ONLY WITH THE SPECIFIC APPROVAL OF DESIGNER. TREES SHALL BE PRE-APPROVED BY THE CITY FORESTER'S OFFICE AND SHALL BE A MINIMUM OF 25' FROM PROPERTY CORNERS. AT INTERSECTIONS, 25' FROM STREET LIGHTS AND 10' FROM EDGE OF DRIVEWAYS.
11. THE NOTED LANDSCAPE TOTALS ARE GIVEN AS A CONVENIENCE TO THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING COUNTS WITH THE LANDSCAPE PLAN.
12. WHERE EXISTING TREE MASSINGS ARE FOUND ON SITE, WHETHER SHOWN ON DRAWINGS OR OTHERWISE, THEY SHALL BE PROTECTED AND SAVED, ANY QUESTION REGARDING WHETHER PLANT MATERIAL SHOULD REMAIN OR NOT SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE DESIGNER PRIOR TO REMOVAL.
13. ALL EXISTING TREES NEED TO BE PRUNED TO REMOVE DEAD WOOD AND ANY DAMAGED BRANCHES.
14. ALL PLANTINGS SHALL RECEIVE COMMERCIAL GRADE EDGING. ALL MASS PLANTING AREAS SHALL HAVE EDGING PLACED BETWEEN THE MULCHED AREA AND ANY ADJACENT TURF.
15. PROVIDE AN 18" CLEARANCE BETWEEN THE BUFFER PLANTINGS AND THE FENCE LINE. ALL PLANTING UNITS IN THE STREET FRONTAGE AND BUFFER YARDS ARE BASED OFF ONE HUNDRED (100) FOOT DIMENSIONS UNLESS NOTED OTHERWISE.
16. REFER TO GRADING PLAN AND SWPPP PLAN FOR LOCATION OF SILT FENCE AND LIMITS OF CONSTRUCTION
17. FILL CAN BE PLACED AGAINST THE TRUNK OF THE TREE, ROOT CROWN OR UNDER DRIP LINE. INSTALL TREES PER PLANTING DETAIL.
18. ALL GREEN SPACE SHALL BE HYDROSEED UNLESS NOTED OTHERWISE.
19. ONE SHRUB AND PERENNIAL PER TYPE AND SIZE IN EACH PLANTING BED SHALL BE CLEARLY IDENTIFIED (COMMON OR LATIN Nomenclature) WITH A PLASTIC IDENTIFICATION TAG WHICH SHALL NOT BE REMOVED UNTIL AFTER OWNER ACCEPTANCE. EVERY TREE SHALL BE IDENTIFIED AND SHALL NOT BE REMOVED UNTIL AFTER OWNER ACCEPTANCE.





FIRM
FLOOD INSURANCE RATE MAP
CAMPBELL COUNTY,
WYOMING
AND INCORPORATED AREAS

PANEL 1441 OF 3125
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
CAMPBELL COUNTY	560081	1441	D
GILLETTE, CITY OF	560007	1441	D

Notice to User: The **Map Number** shown below should be used when placing map orders; the **Community Number** shown above should be used on insurance applications for the subject community.



MAP NUMBER
56005C1441D
EFFECTIVE DATE
JANUARY 2, 2008

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov